



Town of Arlington, MA Redevelopment Board

Agenda & Meeting Notice April 8, 2021

This meeting is being held remotely in accordance with the Governor's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law G.L. c. 30A, Section 20. Public comments will be accepted during the public comment periods designated in the agenda. Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. All comments may be provided by email to jraitt@town.arlington.ma.us by April 8, 2021 at 4:00 p.m.

The Arlington Redevelopment Board will meet Thursday, April 8, 2021 at 7:00 PM in the
Join Zoom Meeting with audio and video by connecting using this link and Meeting ID:
<https://town-arlington-ma-us.zoom.us/j/93542372471> | Meeting ID: 935 4237 2471 or join by
calling: 1-646-876-9923, enter Meeting ID 935 4237 2471 followed by #

1. Continued Public Hearings

7:00 p.m.

Docket #3647, 10 Sunnyside Avenue

Continued Public Hearing

PLEASE NOTE THAT THE APPLICANT HAS REQUESTED A CONTINUANCE AND THE PUBLIC HEARING WILL BE CONTINUED TO AN UPCOMING ARB MEETING.

Board will open a public hearing for Special Permit #3647 to review an application filed by MB Realty Group, LLC, 339 Massachusetts Avenue, Arlington, MA, on January 26, 2021, in accordance with the provisions of MGL Chapter 40A § 11, and the Town of Arlington Zoning Bylaw Section 3.4, Environmental Design Review. The applicant proposes to reconstruct a mixed-use building containing general office space and five residential condominiums at 10 Sunnyside Avenue, Arlington, MA in the B4 Vehicular Oriented Business District. The opening of the Special Permit is to allow the Board to review and approve the development under Section 3.4, Environmental Design Review.

Docket #3646, 1420 Massachusetts Avenue

Continued Public Hearing

Board will open a public hearing to review an application filed on January 26, 2021 by 1420 Massachusetts Avenue, LLC, c/o Bierbrier Development, 420 Bedford Street, Lexington, MA, in accordance with the provisions of MGL Chapter 40A § 11, and the Town of Arlington Zoning Bylaw Section 3.4, Environmental Design Review. The applicant proposes to reconstruct the Citizens Bank and make other site improvements at 1416-1420 Massachusetts Avenue, Arlington, MA in the B4 Vehicular Oriented Business District. The opening of the Special Permit is to allow the Board to review and approve the development under Section 3.4, Environmental Design Review, and Section

6.2, Signs.

- Applicant will be provided 5 minutes for a presentation.
- DPCD staff will be provided 3 minutes to discuss public hearing memo.
- Members of the public will be provided time to comment.
- Board members will discuss each docket and may vote.

2. Finalize Report to Town Meeting

7:30 p.m. Board will discuss draft report and vote to approve and submit to Town Meeting.

3. Meeting Minutes (3/15/21)

8:30 p.m. Board will review and approve minutes

4. Open Forum

8:35 p.m. Except in unusual circumstances, any matter presented for consideration of the Board shall neither be acted upon, nor a decision made the night of the presentation. There is a three minute time limit to present a concern or request.

5. Adjourn

8:55 p.m. Estimated Time for Adjournment

6. Correspondence Received

Correspondence received from:
R. Annese for 10 Sunnyside continuance 03312021
W. Evans 04062021



Town of Arlington, Massachusetts

Continued Public Hearings

Summary:

7:00 p.m.

Docket #3647, 10 Sunnyside Avenue

Continued Public Hearing

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- Applicant will be provided 5 minutes for a presentation.
- DPCD staff will be provided 3 minutes to discuss public hearing memo.
- Members of the public will be provided time to comment.
- Board members will discuss each docket and may vote.

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	Updated_Memo_to_ARB_re_Docket_3646_04-06-21.pdf	Updated Memo ARB re Docket 3646 04-06-21
▢ Reference Material	Docket_3646_Supplemental_Application_Materials_for_4-8-21_Hearing.pdf	Docket 3646 Supplemental Application Materials for 4-8-21 Hearing
▢ Reference Material	Updated_Memo_to_ARB_re_Docket_3646_03-11-21.pdf	Memo to ARB re Docket 3646 03-11-21
▢ Reference Material	Docket_3646_Supplemental_Application_Materials_for_3-15-21_Hearing.pdf	Docket 3646 Supplemental Application for 3-15-21 Hearing

▢	Reference Material	EDR_Public_Hearing_Memo_Docket_3646_1420_Mass_Ave.pdf	EDR Public Hearing Memo Docket 3646 1420 Mass Ave. 02-17-21
▢	Reference Material	Docket_3646_Combined_Application_Materials.pdf	Docket 3646 Combined Application Materials
▢	Reference Material	1420_-_LEED_v4_for_Building_Design_and_Construction_superseded.pdf	1420 LEED v4 for Building Design and Construction - superseded
▢	Reference Material	Updated_Sign_Package_Received_02-17-21_superseded.pdf	Sign Package Received 02-17-21 - superseded



Town of Arlington, Massachusetts
Department of Planning & Community Development
730 Massachusetts Avenue, Arlington, Massachusetts 02476

Public Hearing Memorandum - Update

The purpose of this memorandum is to provide the Arlington Redevelopment Board and public with technical information and a planning analysis to assist with the regulatory decision-making process.

To: Arlington Redevelopment Board

From: Jennifer Raitt, Secretary Ex Officio

Subject: Environmental Design Review, Docket #3646
1416-1420 Massachusetts Avenue

Date: April 6, 2021

This memo is provided as an update to the previous memos provided on February 17 and March 11, 2021. The materials provided for the continued public hearing are responsive to the ARB's comments regarding the façade of the proposed building. The Applicant is providing two options that reflect the surrounding neighborhood context as requested by the ARB. The materials provided include:

- Cover letter to Erin Zwirko, dated April 1, 2021;
- Narrative regarding Citizens Bank design, prepared by BKA Architects, dated April 1, 2021;
- Architectural Elevations, Option 1, prepared by BKA Architects dated March 31, 2021; and
- Architectural Elevations, Option 2, prepared by BKA Architects dated March 31, 2021.

The Applicant consulted with the Town Engineer, who indicated that the proposed project does not trigger the Town's stormwater review.

Should the Board make a decision on the EDR application, the following findings and conditions are recommended:

Findings

1. The ARB finds that the project is consistent with Environmental Design Review per Section 3.4 of the Zoning Bylaw.

General Conditions

1. The final design, sign, exterior material, landscaping, and lighting plans shall be subject to the approval of the Arlington Redevelopment Board at the time when future operators are identified. Any substantial or material deviation during construction from the approved plans and specifications is subject to the written approval of the Arlington Redevelopment Board
2. Any substantial or material deviation during construction from the approved plans and specifications is subject to the written approval of the Arlington Redevelopment Board.
3. The Board maintains continuing jurisdiction over this permit and may, after a duly advertised public hearing, attach other conditions or modify these conditions as it deems appropriate in order to protect the public interest and welfare.
4. Snow removal from all parts of the site, as well as from any abutting public sidewalks, shall be the responsibility of the owner and shall be accomplished in accordance with Town Bylaws.
5. Trash shall be picked up only on Monday through Friday between the hours of 7:00 am and 6:00 pm. All exterior trash and storage areas on the property, if any, shall be properly screened and maintained in accordance with the Town Bylaws.
6. Upon installation of landscaping materials and other site improvements, the owner shall remain responsible for such materials and improvement and shall replace and repair as necessary to remain in compliance with the approved site plan.
7. Upon the issuance of the building permit the Applicant shall file with the Inspectional Services Department and the Police Department the names and telephone numbers of contact personnel who may be reached 24 hours each day during the construction period.

April 1, 2021

Via e-mail

Arlington Redevelopment Board
720 Massachusetts Avenue
Arlington, MA 02476

Attn: Erin Zwirko, Assistant Director, Department of Planning and Community Development

**RE: Special Permit Application Supplemental Submission
Citizens Bank Redevelopment
1420 Massachusetts Avenue
Arlington, MA 02476
Map #173, Block #2 & Lot #4.A**

Dear Ms. Zwirko:

On behalf of 1420 Massachusetts Avenue, LLC c/o Bierbrier Development Inc., please find the below materials in response to the various items discussed during the March 15th meeting with the Redevelopment Board. We look forward to further discussing these materials during the upcoming meeting on April 8th, 2021.

- Citizens Bank Design Narrative prepared by BKA Architects dated April 1, 2021;
- Architectural Elevations Option 1 prepared by BKA Architects dated March 31, 2021;
- Architectural Elevations Option 2 prepared by BKA Architects dated March 31, 2021.

Please do not hesitate to contact us at 508-480-9900 should you have any questions or require any additional information regarding this submission.

Sincerely,

BOHLER



Nick Dewhurst



Randy Miron

CC: Tom Godfrey, Granite Development, LLC (via email)

APRIL 1, 2021

RE: CITIZENS BANK DESIGN NARRATIVE

Citizens Bank
1420 Massachusetts Ave, Arlington, MA
BKA PROJECT NO.: 220145

To whom it may concern:

This narrative serves as a description of our understanding of the design of existing examples of the surrounding neighborhood context and how we applied elements of these examples into either of our proposed designs

Option 1: This option combines brick cladding, stone base with cap and a continuous pvc band finished in tenants green color to emphasize the pedestrian scale and divide the height to illustrate a taller building and the impression of a 2nd story. Smooth faced pilasters book end the corners and break up facade vertically and connect the banding. Floor to ceiling storefronts are shown on the Massachusetts Ave frontage. The entry door layout was duplicated in the tower element above and represents the appearance of a Juliet Balcony, this detail is shown on both sides of the tower. Urban design is represented through visually layering of levels typically found in a downtown storefront. The top is capped with (2) sizes of a classical cornice, the cornice height varies to represent hierarchy of design elements. The side not represented by brick shows a decorative EIFS band with varying depths or insets to continue the layering design throughout the façade. The remaining cladding is EIFS colored to match the brick and show score lines to reduce the scale and to connect the EIFS panel above where applicable.

For this option we've taken design elements from the following existing examples.

1. Juliet Balcony/Smooth Faced PVC- 887 Massachusetts Ave
2. Smooth Faced PVC/ Brick Cladding- CVS/Sunrise of Arlington/1409 Massachusetts Ave
3. EIFS Stucco- 1378, 1398 Massachusetts Ave
4. Varying Roof line- Walgreens/ Starbucks/Trader Joes

Option 2: This option combines brick cladding, stone base with cap and a continuous pvc band finished in tenants green color to emphasize the pedestrian scale and divide the height to illustrate a taller building and the impression of a 2nd story. Smooth faced pilasters book end the corners and break up façade vertically and connect the banding. Floor to ceiling storefronts are shown on the Massachusetts Ave frontage. The entry door layout was duplicated in the tower element above and represents the appearance of a Juliet Balcony, this detail is shown on both sides of the tower. Urban design is represented through visually layering of levels typically found in a downtown storefront. The top is capped with (2) sizes of a classical cornice, the cornice height varies to represent hierarchy of design elements. The top layer is represented by a clapboard panel broken up by a mix of pilasters and vertical and horizontal smooth pvc trim. The remaining cladding is a clapboard with vertical and horizontal trim.

For this option we've taken design elements from the following existing examples.

1. Juliet Balcony/Smooth Faced PVC/Clapboard- 887 Massachusetts Ave
2. Smooth Faced PVC/ Brick Cladding/Clapboard- CVS/Sunrise of Arlington/1409 Massachusetts Ave
3. Varying Roof line- Walgreens/ Starbucks/Trader Joes

I hope the above narrative provides details to assist with your review of the options of the proposed elevations. To further aid your review, we've provided photographs of various existing examples found in the neighborhood that we used for inspiration. if you have any other questions please do not hesitate to contact me. Thank you.

Very truly yours,



Douglas S. Grunert
Senior Project Manager
DSG/sep



887 Massachusetts Ave Mixed Use



1378 Massachusetts Ave Commercial



1398 Massachusetts Ave Commercial



1406 Massachusetts Ave Commercial



1409 Massachusetts Ave Multi-Family



1425 Massachusetts Ave Walgreens



1427 Massachusetts Ave Starbucks



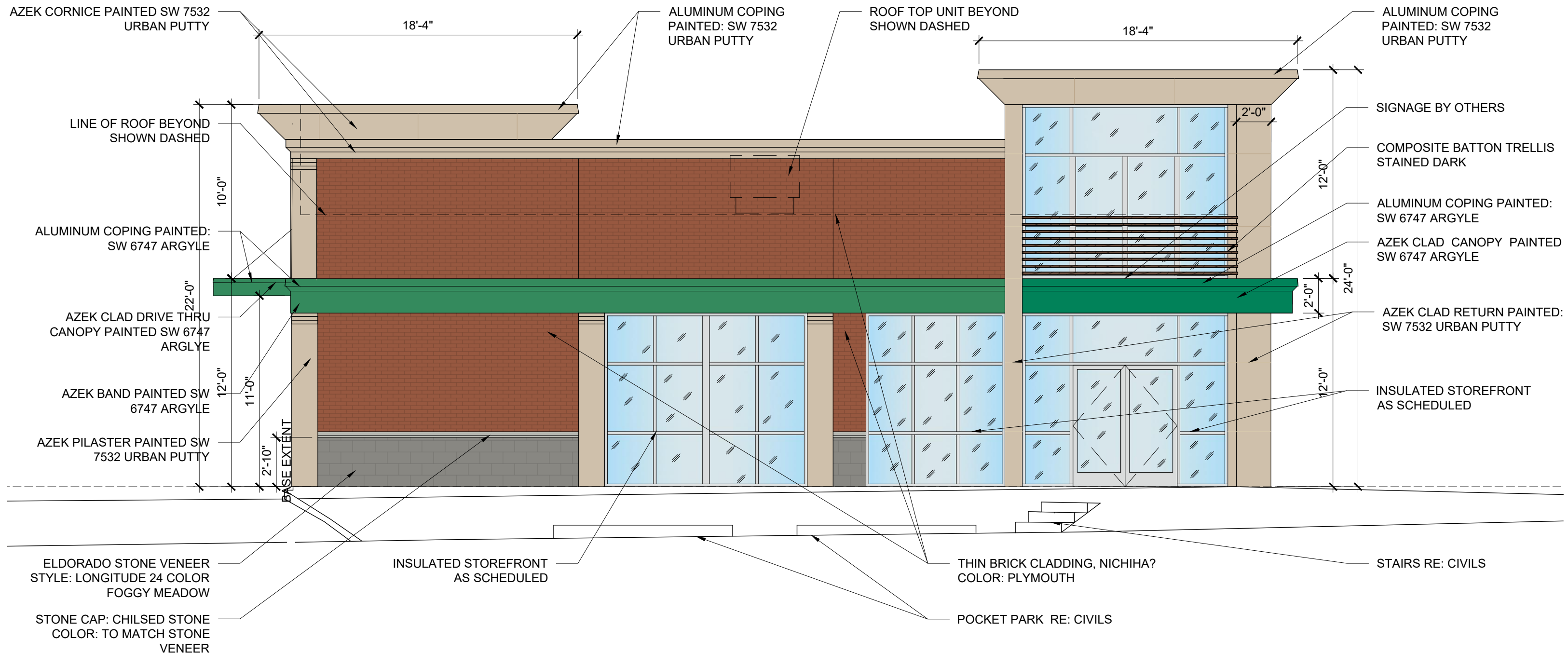
1427 Massachusetts Ave Starbucks/Trader Joes



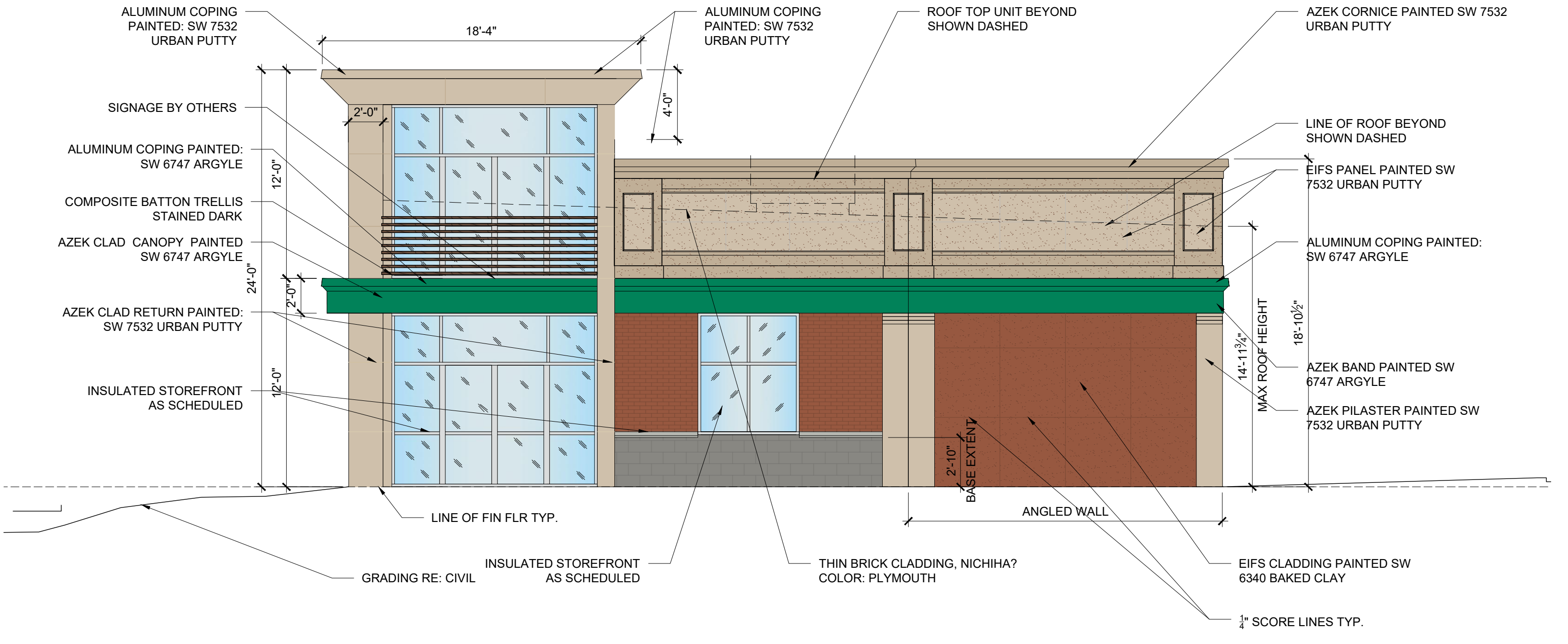
883 Massachusetts Ave CVS



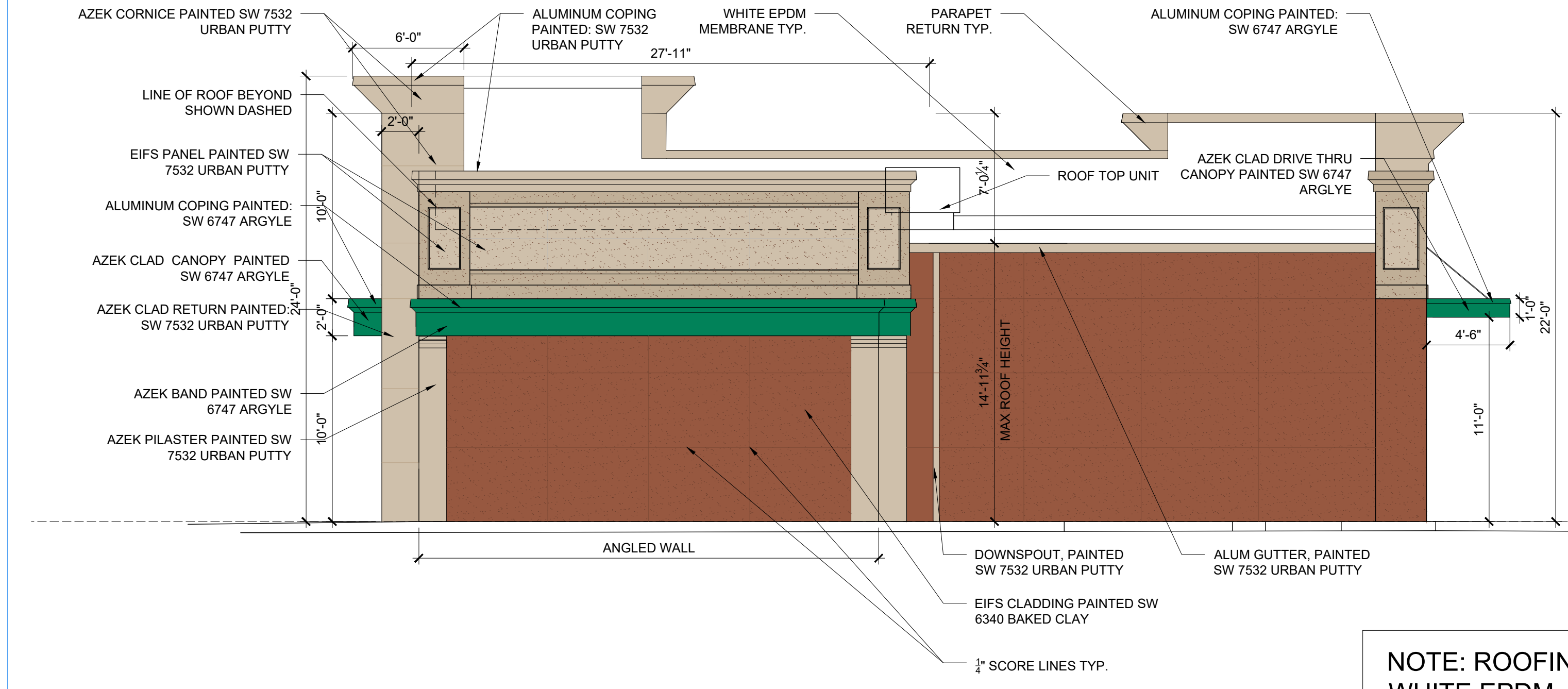
1414 Massachusetts Ave Sunrise of Arlington



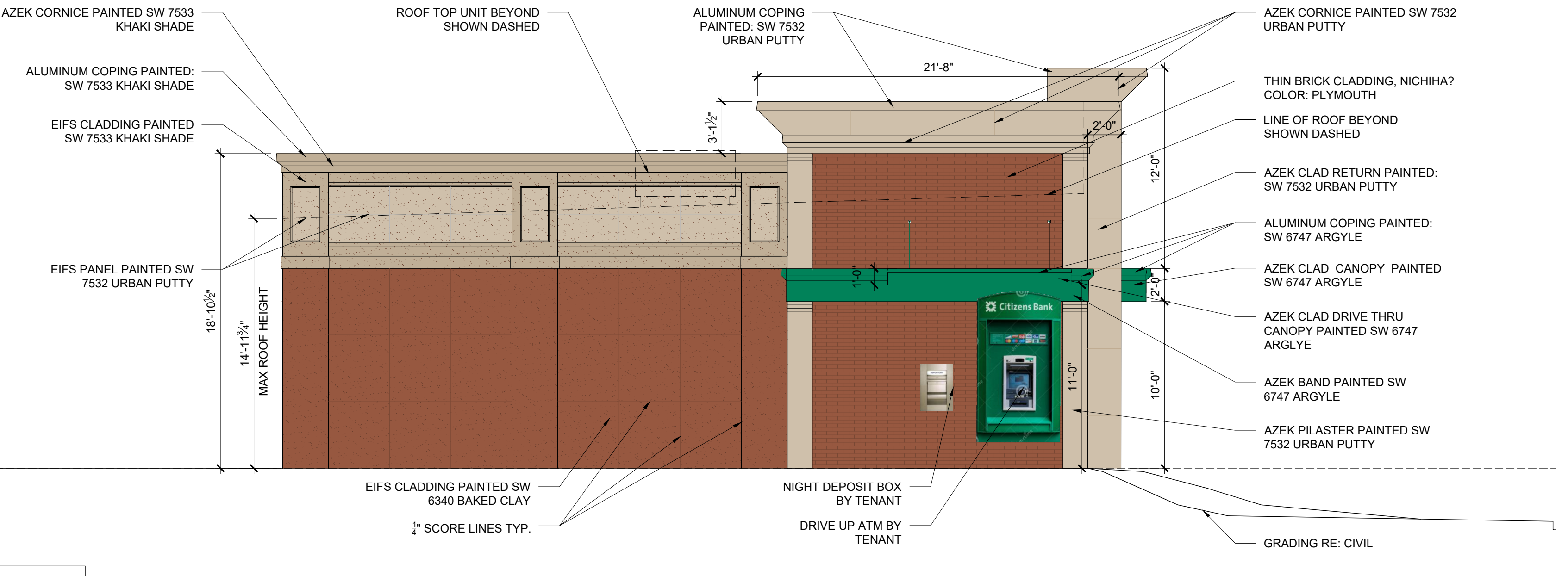
PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)
SCALE: 3/16"-1'-0"



PROPOSED RIGHT SIDE ELEVATION
SCALE: 3/16"-1'-0"



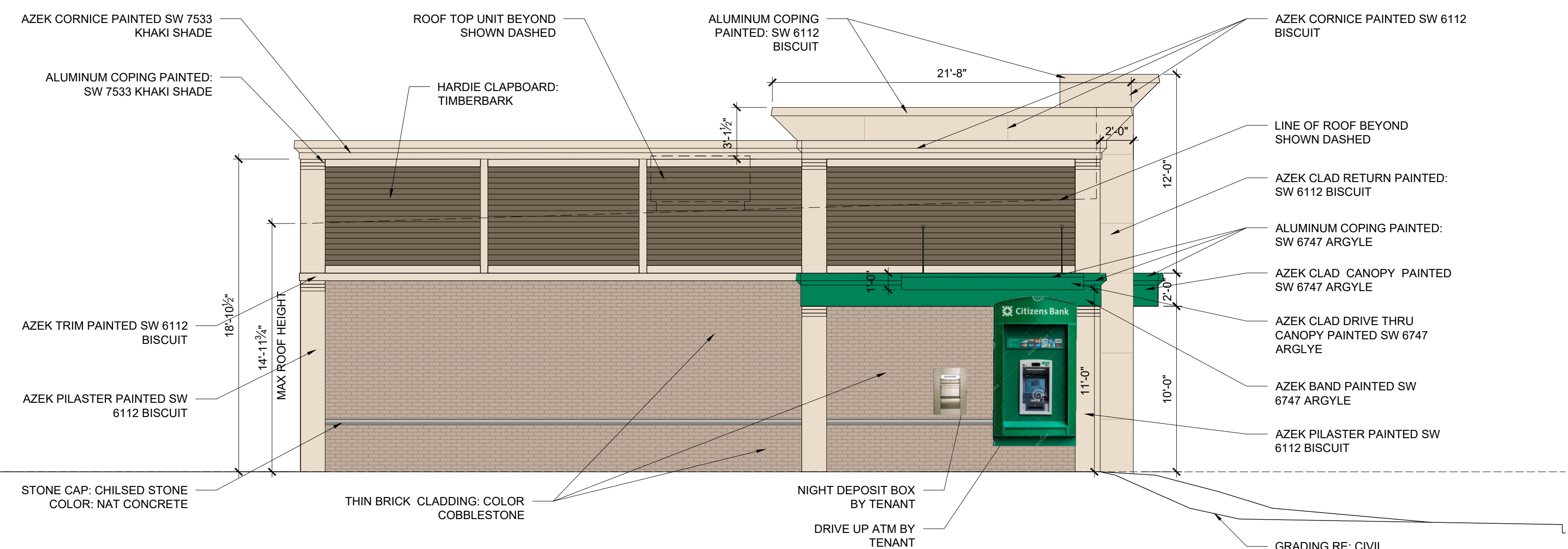
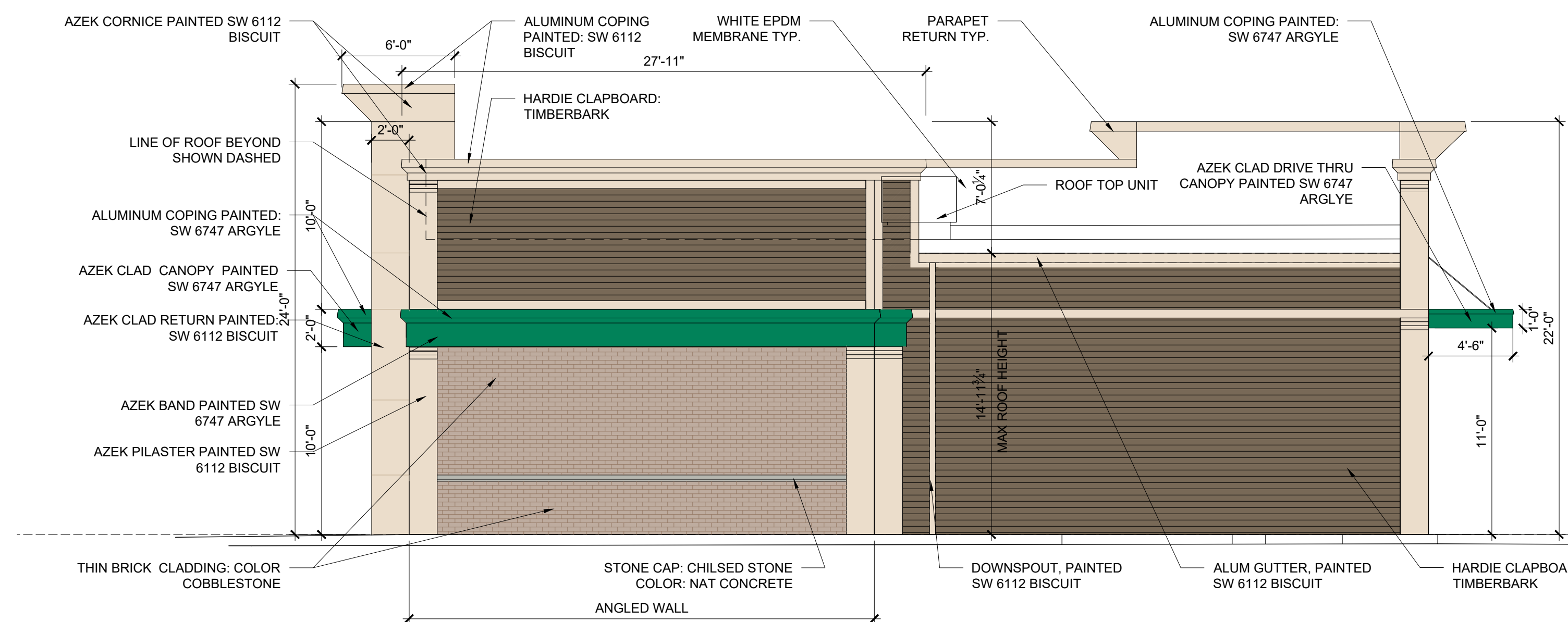
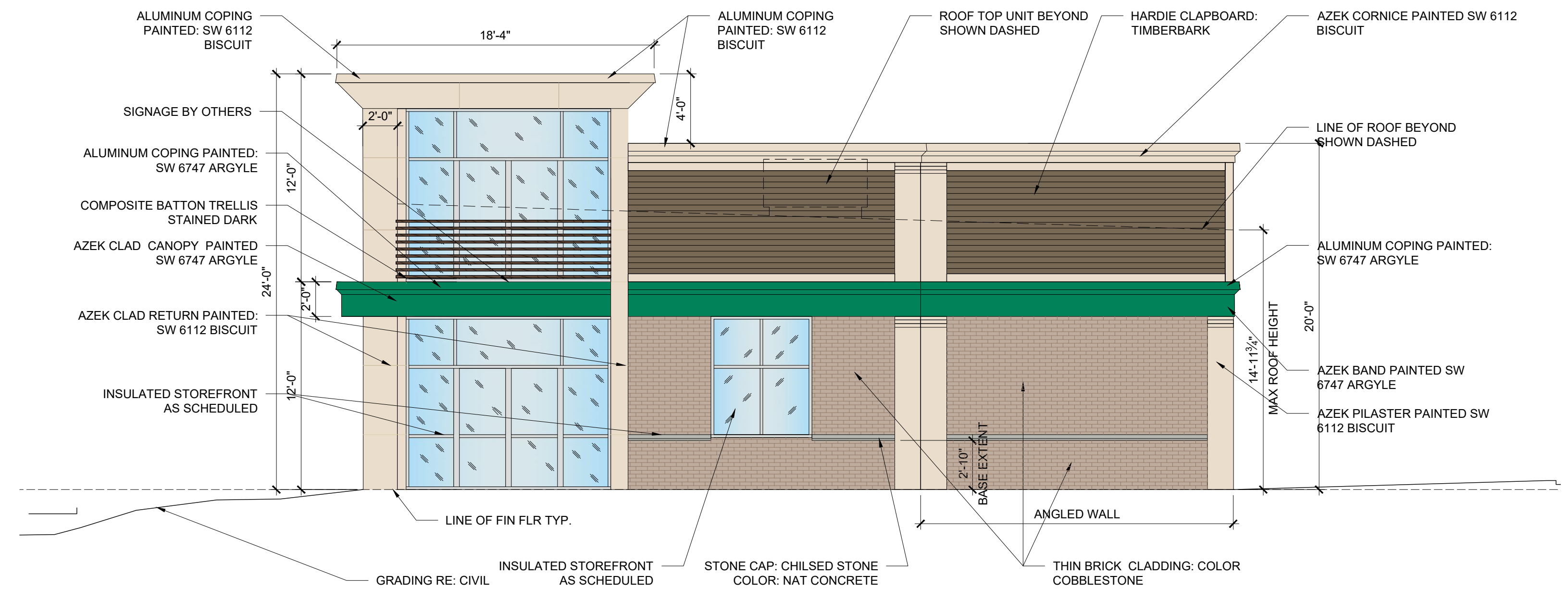
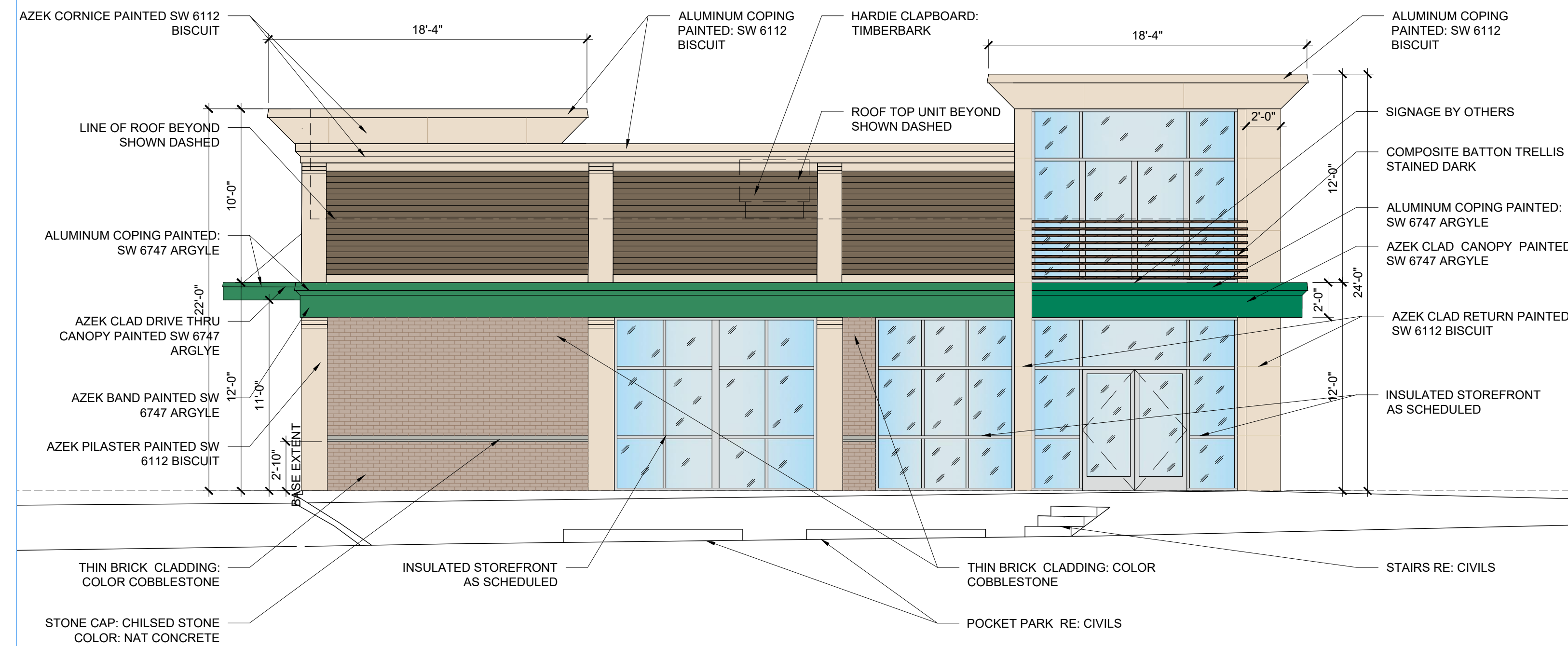
PROPOSED REAR ELEVATION
SCALE: 3/16"-1'-0"



PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)
SCALE: 3/16"-1'-0"

NOTE: ROOFING TO BE WHITE EPDM

OPTION 1



NOTE: ROOFING TO BE
WHITE EPDM

OPTION 2



Town of Arlington, Massachusetts
Department of Planning & Community Development
730 Massachusetts Avenue, Arlington, Massachusetts 02476

Public Hearing Memorandum - Update

The purpose of this memorandum is to provide the Arlington Redevelopment Board and public with technical information and a planning analysis to assist with the regulatory decision-making process.

To: Arlington Redevelopment Board

From: Jennifer Raitt, Secretary Ex Officio

Subject: Environmental Design Review, Docket #3646
1416-1420 Massachusetts Avenue

Date: March 11, 2021

This memo is provided as an update to the last memo provided on February 17, 2021. The following items have been updated pursuant to this application:

- Cover letter to Erin Zwirko, dated March 8, 2021, including a narrative;
- Proposed Site Plan, prepared by Bohler Engineering, dated January 21, 2021, revised March 5, 2021;
- Architectural Elevation, prepared BKA Architects, dated March 8, 2021;
- Sign Package, prepared by AGI, dated January 12, 2021, revised January 14, 2021;
- Proposed Floor Plan, prepared by Citizens, dated March 5, 2021; and
- LEED Narrative & Checklist, prepared by BKA Architects, dated March 8, 2021.

These items address the following items discussed by the Board:

- Reorientation of the building toward Massachusetts Avenue and improvement of the façade;
- Reduce the amount of parking to increase open space;
- Identify the interior space for bicycle storage;
- Improve the LEED score;
- Update signage plan; and
- Consider planting additional trees.

The applicant will report on considering solar panels for the building and discussion with the Engineering Division regarding the stormwater management system during the hearing.

Should the Board make a decision on the EDR application, the following findings and conditions are recommended:

Findings

1. The ARB finds that the project is consistent with Environmental Design Review per Section 3.4 of the Zoning Bylaw.

General Conditions

1. The final design, sign, exterior material, landscaping, and lighting plans shall be subject to the approval of the Arlington Redevelopment Board at the time when future operators are identified. Any substantial or material deviation during construction from the approved plans and specifications is subject to the written approval of the Arlington Redevelopment Board
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3. The Board maintains continuing jurisdiction over this permit and may, after a duly advertised public hearing, attach other conditions or modify these conditions as it deems appropriate in order to protect the public interest and welfare.
4. Snow removal from all parts of the site, as well as from any abutting public sidewalks, shall be the responsibility of the owner and shall be accomplished in accordance with Town Bylaws.
5. Trash shall be picked up only on Monday through Friday between the hours of 7:00 am and 6:00 pm. All exterior trash and storage areas on the property, if any, shall be properly screened and maintained in accordance with the Town Bylaws.
6. Upon installation of landscaping materials and other site improvements, the owner shall remain responsible for such materials and improvement and shall replace and repair as necessary to remain in compliance with the approved site plan.
7. Upon the issuance of the building permit the Applicant shall file with the Inspectional Services Department and the Police Department the names and telephone numbers of contact personnel who may be reached 24 hours each day during the construction period.

March 8, 2021

Via e-mail

Arlington Redevelopment Board
720 Massachusetts Avenue
Arlington, MA 02476

Attn: Erin Zwirko, Assistant Director, Department of Planning and Community Development

**RE: Special Permit Application Supplemental Submission
Citizens Bank Redevelopment
1420 Massachusetts Avenue
Arlington, MA 02476
Map #173, Block #2 & Lot #4.A**

Dear Ms. Zwirko:

On behalf of 1420 Massachusetts Avenue, LLC c/o Bierbrier Development Inc., please find the below materials in response to the various items discussed during the February 22nd meeting with the Redevelopment Board. We look forward to further discussing these materials during the upcoming meeting on March 15th, 2021.

- Proposed Site Plan Documents prepared by Bohler dated January 21, 2021, revised March 5, 2021;
- Architectural Elevation prepared by BKA Architects dated March 8, 2021;
- Sign Submittal Package prepared by AGI dated January 12, 2021, last revised January 14, 2021;
- Proposed Floor Plan prepared by Citizens dated March 5, 2021;
- LEED Narrative & Checklist prepared by BKA Architects dated March 8, 2021.

Please note that the above materials have been updated as follows in response to the questions and comments discussed during the February 22, 2021 public hearing:

- Relocated the building front entrance to the Mass Ave side of the building. Also note that the ADA parking space and the pocket park have been adjusted to accommodate same.
- Additional architectural detail/element have been added to the left front façade of the building.
- We have consulted with the Tree Warden and have added two (2) shade trees behind the pocket park to help add visual interest to this end of the building. Also, two (2) ornamental trees have been added to the landscaped area in the rear.
- Three (3) parking spaces have been removed in the rear left corner and replaced with landscaping.
- A conceptual floorplan has been provided showing the location and detail of the long-term bicycle parking space within the building.

- An updated LEED checklist and narrative for the building has been provided. Solar will not be incorporated into the building design. Note that we are proposing to increase open space to approximately 35%, well above the 10% requirement.
- Updated sign package has been provided including the dimensions of the vinyl sign.

Please do not hesitate to contact us at 508-480-9900 should you have any questions or require any additional information regarding this submission.

Sincerely,

BOHLER



Nick Dewhurst



Randy Miron

CC: Tom Godfrey, Granite Development, LLC (via email)

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND VERMONT'S REQUIREMENTS.

- 1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - "BOUNDARY & TOPOGRAPHIC SURVEY," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 07/15/16, REVISED THRU 08/28/20.
 - "REPORT OF GEOTECHNICAL INVESTIGATION," PREPARED BY WHITESTONE ASSOCIATES, INC., DATED 12/28/20.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE-SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONSTRUCTION AND ALL CONFORMANCE AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, OF ANY DISCREPANCY, DISCREPANCY OR AMBIGUITY EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

12. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DUE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT LIMITED TO, REPAIR, MATERIALS, LABOR, AND OVERHEADS. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND RESTORATION OF ANY DAMAGE TO ADJACENT PROPERTY, INCLUDING BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITION EXISTING PRIOR TO THE CONSTRUCTION. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

14. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

15. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (COGL). ALL CONTRACTORS MUST HAVE THEIR COGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAME INSURED AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE. THIS HOLD HARMLESS AGREEMENT IS IN ADDITION TO THE REQUIREMENTS OF THE VERMONT CONSTRUCTION ACT. CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT, AND FOR INFORMATIONAL PURPOSES. CONTRACTOR'S CONSTRUCTION MEANS AND/OR METHODS, MEANS, TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DELAYATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THEREATO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER, ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICABLE DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITIES TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES WITH THE LOCAL UTILITY SERVICE PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTIONS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIAL FOR SEWAL, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERE TO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST 9. BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION, AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER AGENCY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUILT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEViate FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE. MARK LOCATIONS WITH A DIAL AND INDICATE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT ponding. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1' ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM 0.75% SLOPE GRADE ALONG CURBS FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER DESIGN PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

22. STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SLT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SLT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

- UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
 - FOR PIPES MORE THAN 12 FT. DEEP: POLYETHYLENE GLYCOL (PE) SDR 35 PER ASTM D3034
 - FOR PIPE WITHIN 10 FT. OF BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.

23. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/or MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

24. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

25. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL, OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

26. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

27. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

28. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

29. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- "BOUNDARY & TOPOGRAPHIC SURVEY," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 07/15/16, REVISED THRU 08/28/20.
2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED, THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMANCE OF WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

5. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

10. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED MATERIALS, AND MUST BE SUPERSEDED BY ANY NEW IMPROVEMENTS AND/OR NEW MATERIALS, AND BE IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADDED TO PROMOTE POSITIVE DRAINAGE.

11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS



MAP 173, BLOCK 2, LOT 7
N/F LANDS OF
DONN EZEKIEL & ANASTASIA
WHEELER
BK. 55490, PG. 377
ZONE: R2

MAP 173, BLOCK 2, LOT 4.B
N/F LANDS OF
TERESA SUGRUE TRUSTEE
JTZ REALTY TRUST
BK. 30170, PG. 43
ZONE: R2

MAP 173, BLOCK 2, LOT 4.C
N/F LANDS OF
JEREMIAH F. HORGAN &
MARILYN L. HORGAN
BK. 10369, PG. 113
ZONE: R2

MAP 173, BLOCK 2, LOT 4.A
N/F LANDS OF
1420 MASSACHUSETTS
AVENUE, LLC
BK. 67758, PG. 250
ZONE: B4

MAP 173, BLOCK 2, LOT 6.B
N/F LANDS OF
LEXINGTON DEVELOPMENT
REALTY TRUST
BK. 59343, PG. 556
ZONE: B4

MAP 173, BLOCK 2, LOT 2
N/F LANDS OF
1406 MASSACHUSETTS AVENUE, LLC
BK. 48943, PG. 550
ZONE: B3

MASSACHUSETTS AVENUE

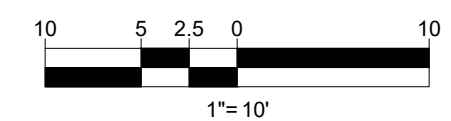
(A.K.A. MASSACHUSETTS STATE ROUTE 2A)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY)

TWO WAY TRAFFIC

PRIVATE DRIVE
(20' WIDE RIGHT OF WAY)
(OWNERS UNKNOWN)

REFER TO GENERAL NOTES SHEET FOR
DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/ REMOVAL
PURPOSES ONLY



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROJECT MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE SERVICES
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	02/22/21	PER TOWN COMMENTS	NPD
2	03/05/21	PER TOWN COMMENTS	NPD
			RMM
			RMM



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PROJECT No.: W161132
DRAWN BY: CFDP/NDP
DATE: 01/21/2021
CAD ID: W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

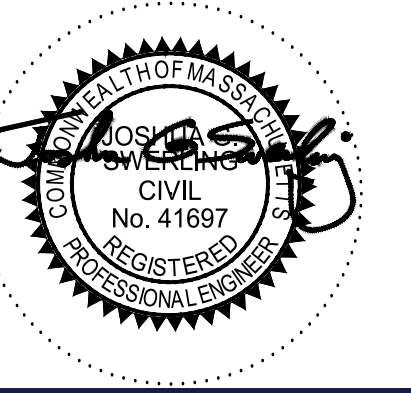
PROPOSED
CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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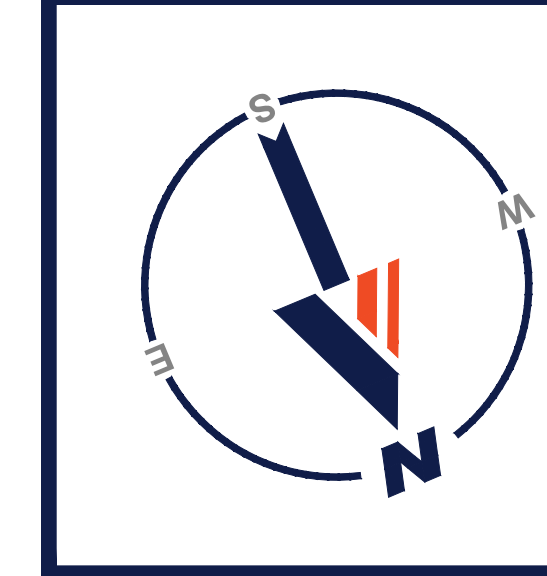
SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

C-201

REVISION 2 - 03/05/21



MAP 173, BLOCK 2, LOT 7
N/F LANDS OF
DONN EZEKIEL & ANASTASIA
WHEELER
BK. 55490, PG. 377
ZONE: R2

MAP 173, BLOCK 2, LOT 4.B
N/F LANDS OF
TERESA SUGRUE TRUSTEE
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BK. 30170, PG. 43
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MAP 173, BLOCK 2, LOT 4.C
N/F LANDS OF
JEREMIAH F HORGAN &
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BK. 10369, PG. 113
ZONE: R2

MAP 173, BLOCK 2, LOT 4.A
N/F LANDS OF
1420 MASSACHUSETTS
AVENUE, LLC
BK. 67758, PG. 250
ZONE: B4

MAP 173, BLOCK 2, LOT 2
N/F LANDS OF
1406 MASSACHUSETTS AVENUE, LLC
BK. 48943, PG. 550
ZONE: B3

SITE INFORMATION

- APPLICANT:
1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.
420 BEDFORD STREET
LEXINGTON, MA 02120
- OWNER:
1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.
420 BEDFORD STREET
LEXINGTON, MA 02120
- PARCEL:
MAP #173, BLOCK #2 & LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY, MA

ZONING ANALYSIS TABLE

ZONING ANALYSIS TABLE			
ZONING DISTRICT	VEHICULAR ORIENTED BUSINESS (B4)		
OVERLAY DISTRICT	NONE		
REQUIRED PERMIT	BANK OVER 2,000 SF WITH DRIVE-UP ATM PERMITTED BY SPECIAL PERMIT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	NONE	19,727 SF	NO CHANGE
MIN. LOT FRONTAGE	50 FT	158.3 FT	NO CHANGE
MAX. BLDG F.A.R.	1.0	0.18	0.12
MIN. FRONT SETBACK	0 FT	19.7 FT	16.3 FT
MIN. SIDE SETBACK	0 FT	10.6 FT	25.9 FT
MIN. REAR SETBACK	10 FT	51.4 FT	51.3 FT
MAX. BUILDING HEIGHT	35 FT / 3 STORIES	17.6 FT	20.0 FT
MIN. OPEN SPACE	10%	23.1%	34.9%
PARKING SPACES	8	15	12
ACCESS, PARKING SPACES	1	1	1
PARKING STALL CRITERIA	USE/CATEGORY: RETAIL OR OTHER SERVICE USE		
STANDARD: 9 FT x 18 FT	REQUIRED PARKING: 1 SPACE PER 300 SF SF		
COMPACT: 8 FT x 16 FT	CALCULATION: 2,400 / 300 = 8 SPACES REQUIRED		

BICYCLE PARKING REQUIREMENTS

RETAIL AND SERVICE USE REQUIRES 0.60 SPACES PER 1,000 SF OF GROSS FLOOR AREA.
- 2,400 SF x 0.6 / 1,000 = 1.4 SPACES REQUIRED
- 2 SPACES PROVIDED



3D MODELING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

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1	02/22/21	PER TOWN COMMENTS	NPD
2	03/05/21	PER TOWN COMMENTS	RMM



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PROJECT No.: W161132
DRAWN BY: CFDP/NDP
CHECKED BY: RMM
DATE: 01/21/2021
CAD I.D.: W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.

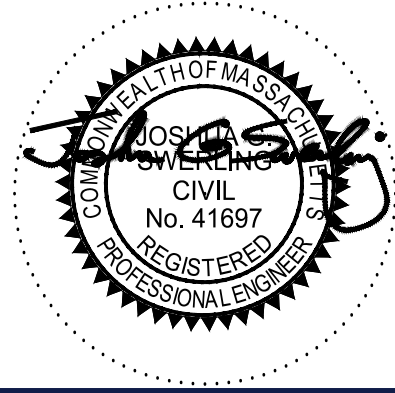
PROPOSED
CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS



352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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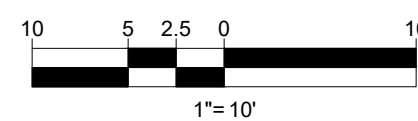
SITE LAYOUT PLAN

SHEET NUMBER:

C-301

REVISION 2 - 03/05/21

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES





REVISIONS

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CAD ID: W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.

PROPOSED CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER

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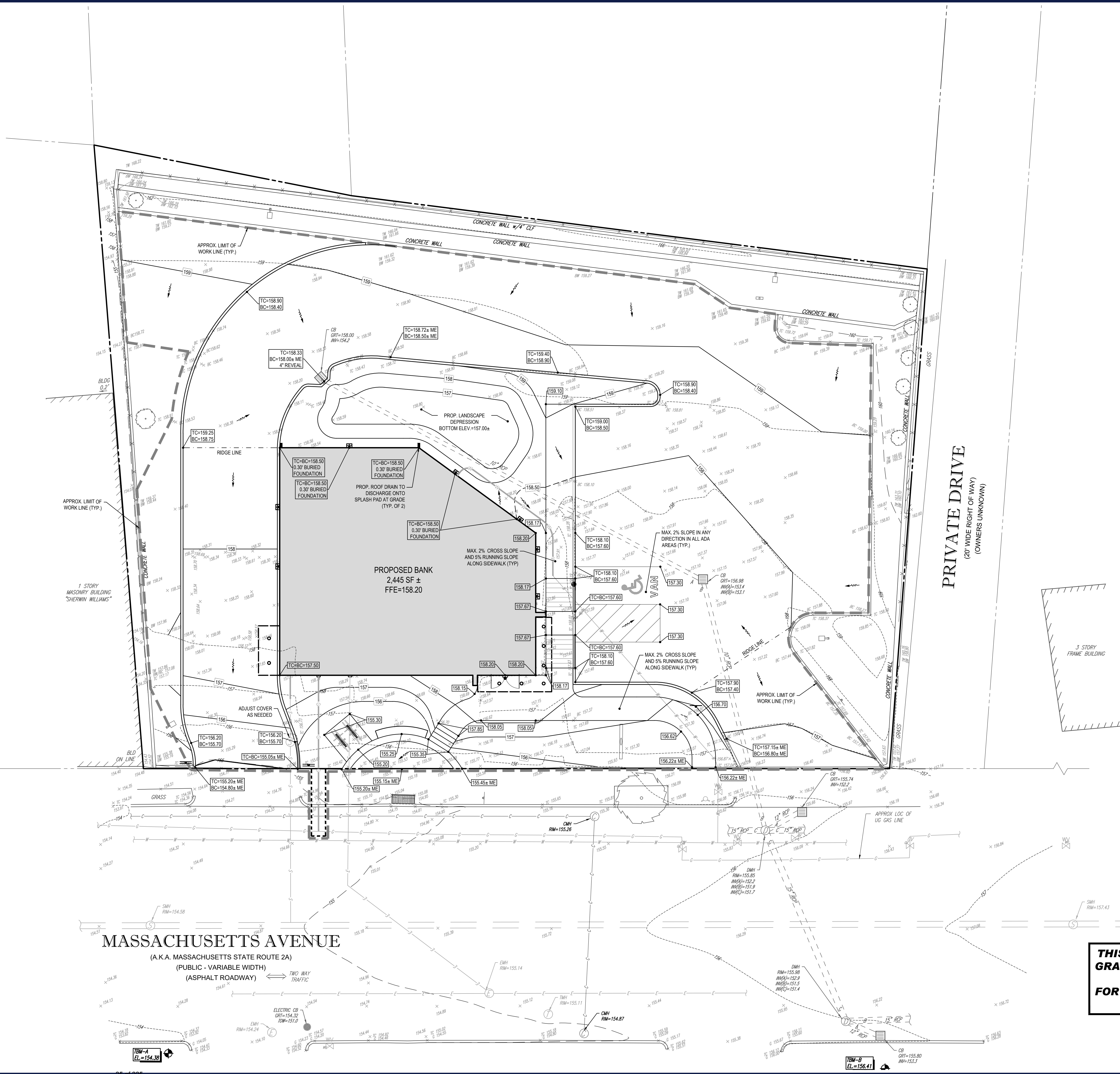
SHEET TITLE:

GRADING AND DRAINAGE PLAN

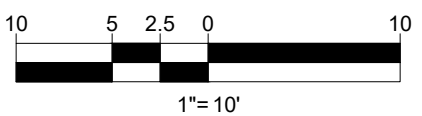
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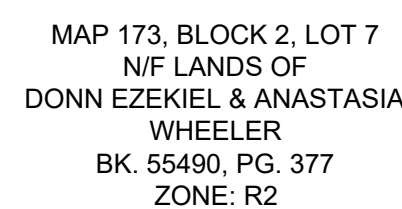
C-401

REVISION 2 - 03/05/21



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MAP 173, BLOCK 2, LOT 4.B
N/F LANDS OF
TERESA SUGRUE TRUSTEE
JTZ REALTY TRUST
BK. 30170, PG. 43
ZONE R2

MAP 173, BLOCK 2, LOT 4.C
N/F LANDS OF
JEREMIAH F HORGAN &
MARILYN L. HORGAN
BK. 10369, PG. 113
ZONE: R2


MAP 173, BLOCK 2, LOT 4.A
N/F LANDS OF
1420 MASSACHUSETTS
AVENUE, LLC
BK. 67758, PG. 250
ZONE: B4

PRIVATE DRIVE
(20' WIDE RIGHT OF WAY)
(OWNERS UNKNOWN)

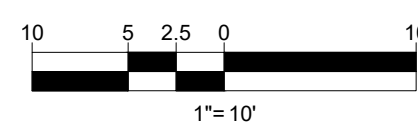
MAP 173, BLOCK 2, LOT 6.B
N/F LANDS OF
LEXINGTON DEVELOPMENT
REALTY TRUST
BK. 59343, PG. 556
ZONE B4

MAP 173, BLOCK 2, LOT 2
N/F LANDS OF
1406 MASSACHUSETTS AVENUE, LLC
BK. 48943, PG. 550
ZONE: B3

MASSACHUSETTS AVENUE

(A.K.A. MASSACHUSETTS STATE ROUTE 2A)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY) 

**THIS PLAN TO BE UTILIZED FOR
UTILITIES PURPOSES ONLY. REFER TO
GENERAL NOTES SHEET
FOR ADDITIONAL GRADING & UTILITY
NOTES**



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LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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REVISIONS

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PROJECT No.:	W161132
DRAWN BY:	CFD/NPD
CHECKED BY:	RMM
DATE:	01/21/2021
CAD I.D.:	W161132-TTB-0_24X36

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

— FOF

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

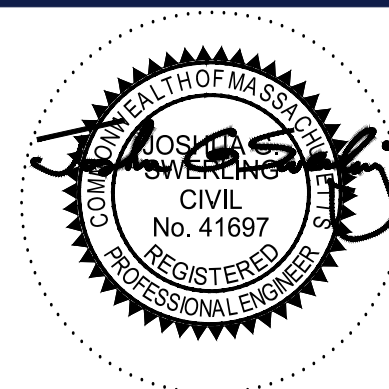
**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

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SOUTHBOROUGH, MA 01772
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SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

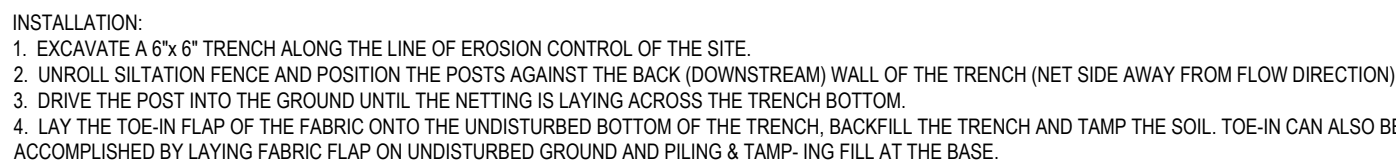
C-501

REVISION 2 - 03/05/21



1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISBURTMENT OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB CALCIUM PER ACR OR 18.4 LB PER 1,000 SF USING 20-20-20 OR EQUIVALENT. 5% GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF. LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
 - 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUTUREL BINDER SUCH AS CURFOSOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OF THE ADJACENT WETLAND DISTURBANCE.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

N.T.S.



LOCATION PROTECT AREA	MULCH STRAW	RATE (1000 SF) 100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCelsior MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

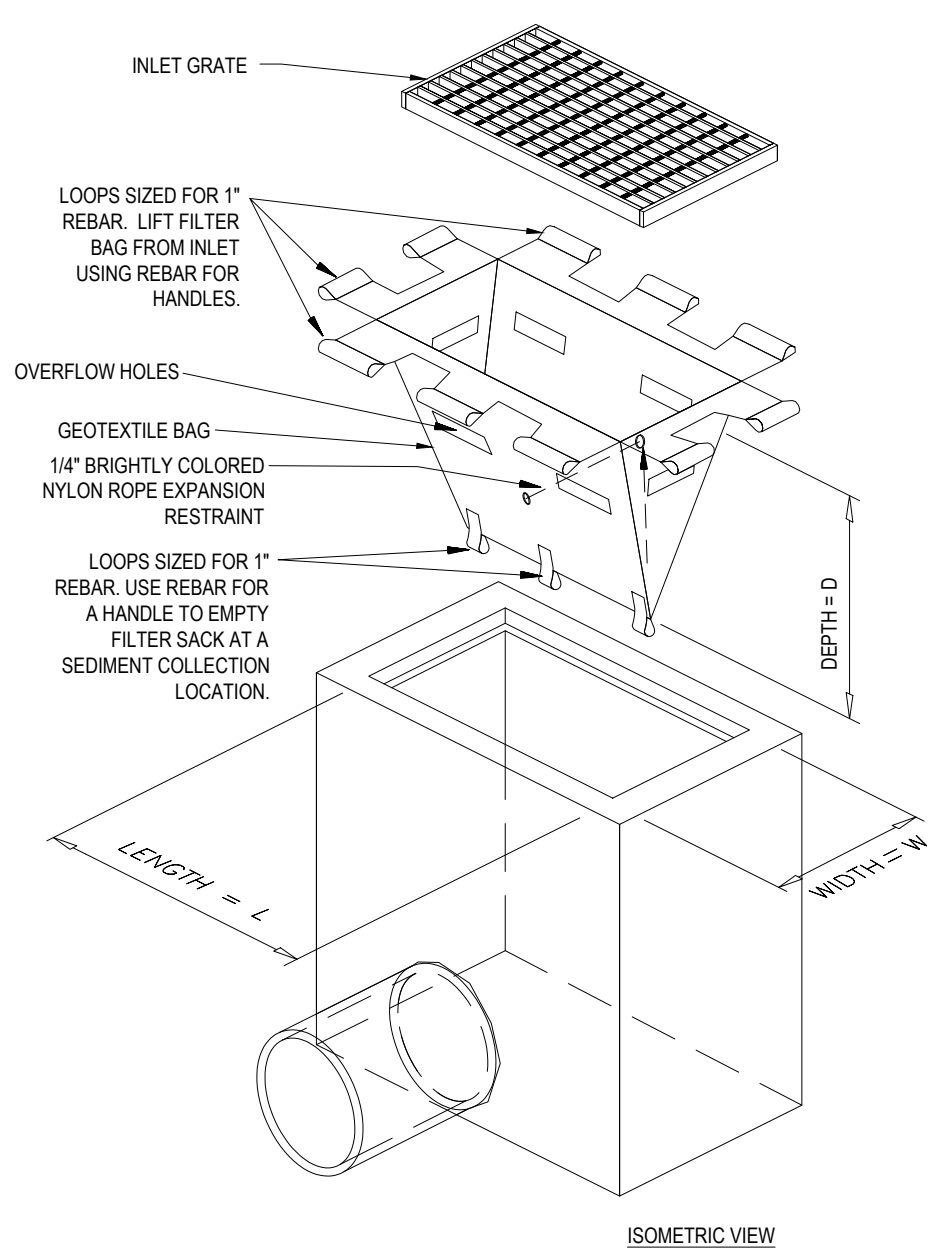
MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED, DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300# HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
 - 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

N.T.S.



N.T.S.



N.T.S.



NOTES:

1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY Laid BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

N.T.S.

LOW TO MODERATE FLOW GEOTEKSTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3766	800 LBS
TRAPEZOID TENS	ASTM D-5353	120 LBS
UV RESISTANCE	ASTM D-5365	80 LBS
APPARENT OPENING SIZE	ASTM D-5751	40 GAL/IN/SQ FT
FLOW RATE	ASTM D-4441	40 GAL/IN/SQ FT
PERMITTIVITY	ASTM D-4491	0.5 SEC -1

MODERATE TO HIGH FLOW GEOTEKSTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	155 LBS
MULLEN BURST	ASTM D-3766	420 LBS
TRAPEZOID TENS	ASTM D-5353	45 LBS
UV RESISTANCE	ASTM D-5365	90 LBS
APPARENT OPENING SIZE	ASTM D-5751	20 GAL/IN/SQ FT
FLOW RATE	ASTM D-4441	200 GAL/IN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTECHILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 38 INCHES
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING
MAY CAUSE TRAFFIC HAZARDS.

TO BE USED IN EXISTING RIGHT OF WAY

N.T.S.

[illegible]

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PROJECT No.:	W161132
DRAWN BY:	CFD/NPD
CHECKED BY:	RMM
DATE:	01/21/2021
CAD I.D.:	W161132-TTB-0_24X36

PROJECT:

FOR

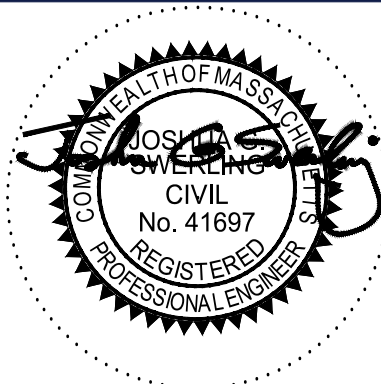
1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

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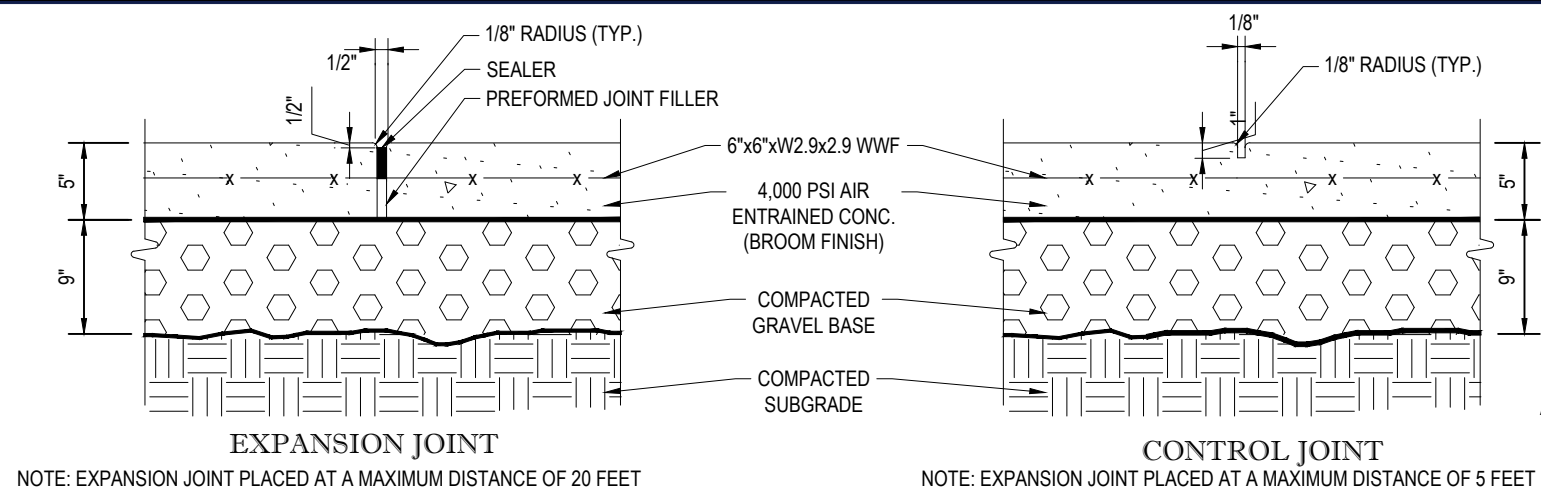


SHEET TITLE:
**EROSION AND
SEDIMENT
CONTROL NOTES
AND DETAILS**

SHEET NUMBER

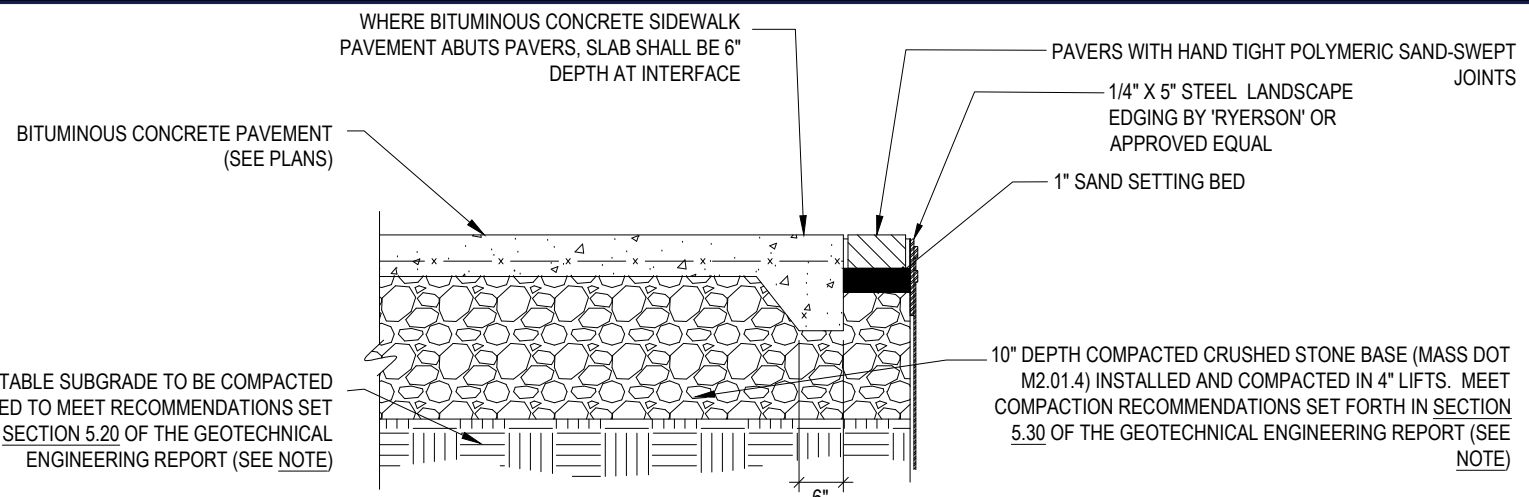
C-602

REVISION 2 - 03/05/21



**CONCRETE PATIO WITH PAVER
SOLDIER COURSE**

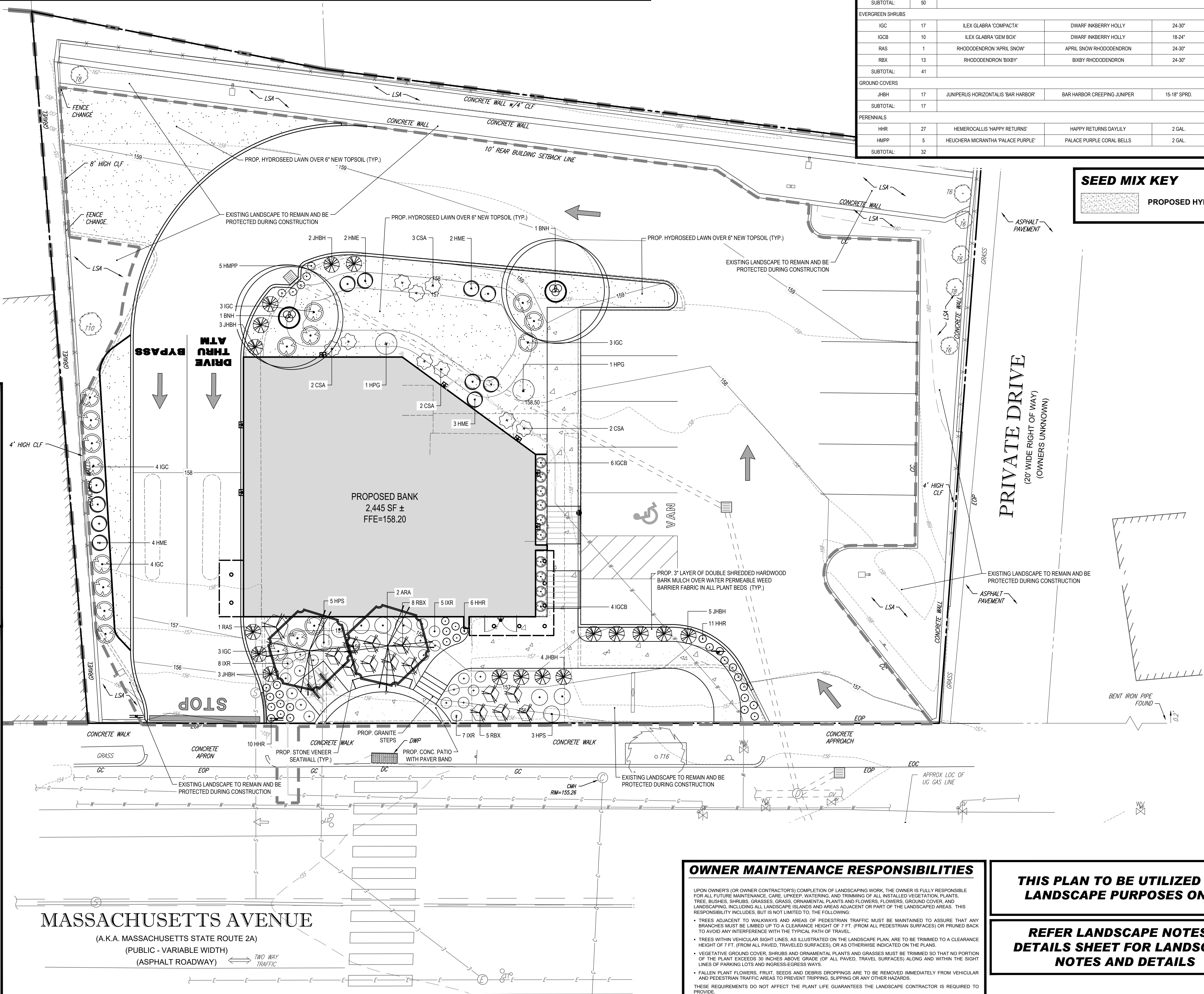
N.T.S.



LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES					
ARA	2	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2-3" CAL.	B-8
SUBTOTAL:		2			
ORNAMENTAL TREES					
BNH	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	10-12"	B-8
SUBTOTAL:		2			
DECIDUOUS SHRUBS					
CSA	9	CORNUS STOLONIFERA 'ARCTIC FIRE'	COMPACT RED TWIG DOGWOOD	18-24"	B-8
HME	11	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	18-24"	CONTAINER
HPG	2	HYDRANGEA PANDICULATA 'GRANDIFLORA'	PEE GEE HYDRANGEA	24-30"	CONTAINER
HPS	8	HYPERICUM PATULUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24"	CONTAINER
IXR	20	ILEX X VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
SUBTOTAL:		50			
EVERGREEN SHRUBS					
IGC	17	ILEX GLABRA 'COMPACTA'	DWARF INKSBERRY HOLLY	24-30"	B-8
IGCB	10	ILEX GLABRA 'SEM BOY'	DWARF INKSBERRY HOLLY	18-24"	CONTAINER
RAS	1	RHOODODENDRON 'APRIL SNOW'	APRIL SNOW RHOODODENDRON	24-30"	CONTAINER
RBX	13	RHOODODENDRON 'BIBBY'	BIBBY RHOODODENDRON	24-30"	CONTAINER
SUBTOTAL:		41			
GROUND COVERS					
JHBH	17	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER
SUBTOTAL:		17			
PERENNIALS					
HRH	27	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER
HMP	5	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	2 GAL.	CONTAINER
SUBTOTAL:		32			

SEED MIX KEY

PROPOSED HYDROSEED



MASSACHUSETTS AVENUE
(A.K.A. MASSACHUSETTS STATE ROUTE 2A)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY) ↔ TWO WAY TRAFFIC

OWNER MAINTENANCE RESPONSIBILITIES

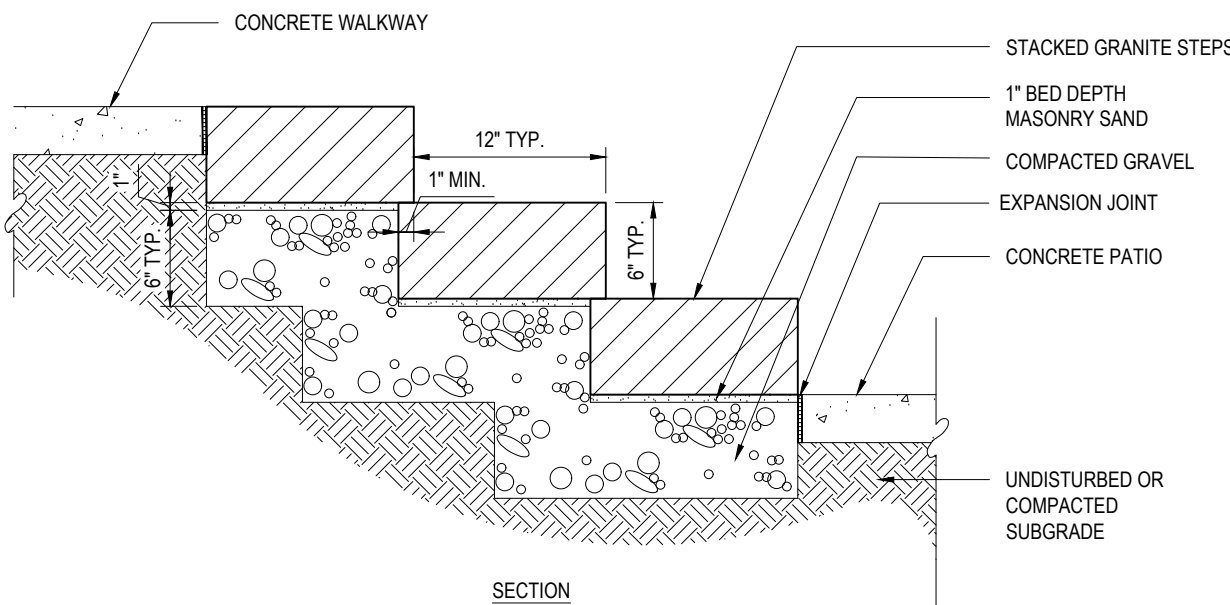
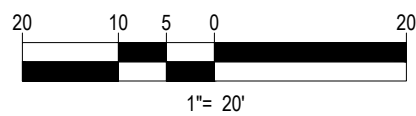
UPON OWNERS (OR OWNER CONTRACTORS) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE BURNES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND WALKWAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

**THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY**

**REFER LANDSCAPE NOTES &
DETAILS SHEET FOR LANDSCAPE
NOTES AND DETAILS**



GRANITE STEPS

N.T.S.

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	02/22/21	PER TOWN COMMENTS	NPD
2	03/05/21	PER TOWN COMMENTS	RMM



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PERMIT SET

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PROJECT No.: W161132
DRAWN BY: CFDP/NPD
CHECKED BY: RMM
DATE: 01/22/21
CAD ID: W161132-TTB-0_24X36

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

FOR

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

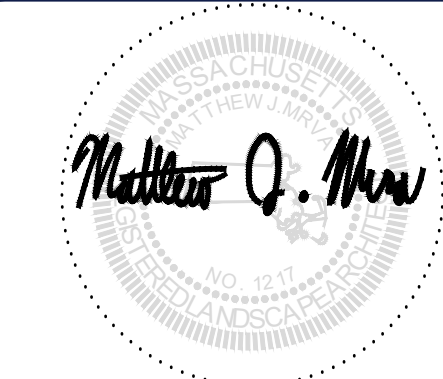
PROPOSED
CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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SHEET TITLE:

**LANDSCAPE
PLAN**

SHEET NUMBER:

C-701

REVISION 2 - 03/05/21

\\BOHLER\NET\SHARES\3\A\PROJECTS\16112\DRAWINGS\PLAN SET\REV\DW161122-LND-2.dwg;.....LAYOUT: C-702-LINOTE

NO

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:

- 1.1. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

- 2.1. GENERAL - ALL LANDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATIONS SPECIFICATIONS.
- 2.2. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
- 2.3. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 8" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.
- 2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
- 2.3.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/FEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- 2.4. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.
- 2.5. FERTILIZER
- 2.5.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
- 2.5.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
- 2.6. PLANT MATERIAL
- 2.6.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSEYMEN).
- 2.6.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
- 2.6.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
- 2.6.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
- 2.6.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
- 2.6.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
- 2.6.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
- 2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES

- 3.1. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
- 3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

- 4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- 4.2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY; CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- 4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION

- 5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- 5.2. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
- 5.3. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- 5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS

- 6.1. CONTRACTOR SHALL ATAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
- 6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
- 6.3. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
- 6.3.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
- 6.3.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS AVAILABLE TO BRING THE SAND CONTENT TO MORE THAN 80% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
- 6.3.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING

- 7.1. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
- 7.2. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).
- 7.3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- 7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING

- 8.1. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
- 8.2. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- 8.3. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL. TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
- 8.4. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):
- 8.4.1. 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
- 8.4.2. 20 POUNDS NITRO-FORM (COARSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
- 8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING

- 9.1. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- 9.2. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- 9.3. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- 9.4. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- 9.5. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- 9.6. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
- 9.6.1. PLANTS: MARCH 15 TO DECEMBER 15
- 9.6.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- 9.6.3. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
- 9.7. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL

LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM
BETULA VARIETIES
CORNUS VARIETIES
CATNAGUS VARIETIES
KOELREUTERIA
LIQUIDAMBAR STYRACIFLUA
LIRIODENDRON TULIPIFERA

PLATANUS X ACERIFOLIA
POPULUS VARIETIES
PRUNUS VARIETIES
PYRUS VARIETIES
QUERCUS VARIETIES
TILIA TOMENTOSA
ZELKOVA VARIETIES

9.8. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

- 9.8.1. 1 PART PEAT MOSS
- 9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME
- 9.8.3. 3 PARTS TOPSOIL BY VOLUME
- 9.8.4. 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
- 9.8.4.1. 2 TABLETS PER 1 GALLON PLANT
- 9.8.4.2. 3 TABLETS PER 5 GALLON PLANT
- 9.8.4.3. 4 TABLETS PER 15 GALLON PLANT
- 9.8.4.4. LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

9.12. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)

- 10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
- 10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
- 10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- 10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
- 10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
- 10.6. F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING

- 11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
- 11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
- 11.3. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE

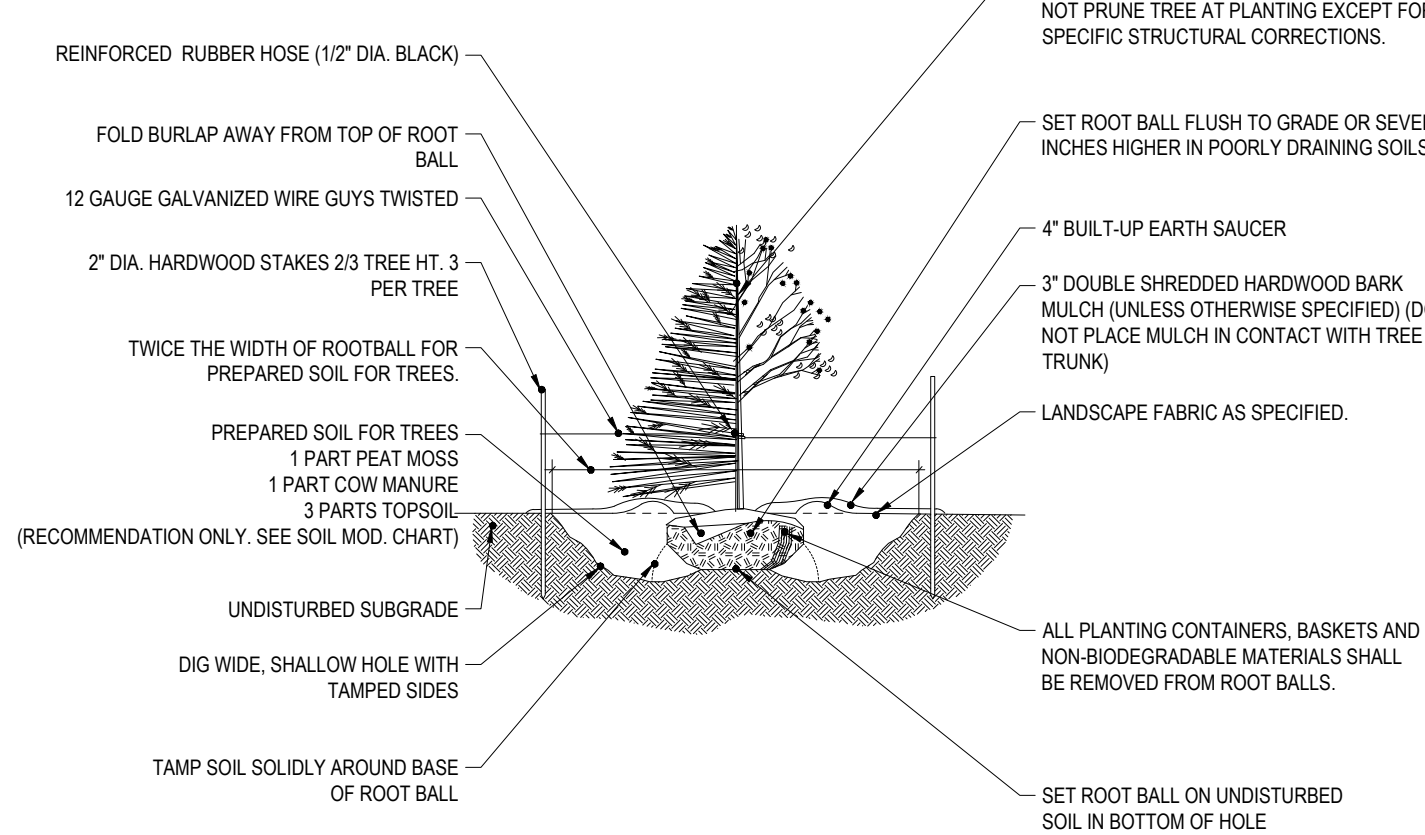
- 12.1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- 12.2. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
- 12.3. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
- 12.4. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

13. CLEANUP

- 13.1. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
- 13.2. THE SITE SHALL BE CLEARED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- 13.4. MAINTENANCE (ALTERNATIVE BID):
- 14.1. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MAINTAINED TO THE APPROVAL OF THE OWNER/OPERATOR.

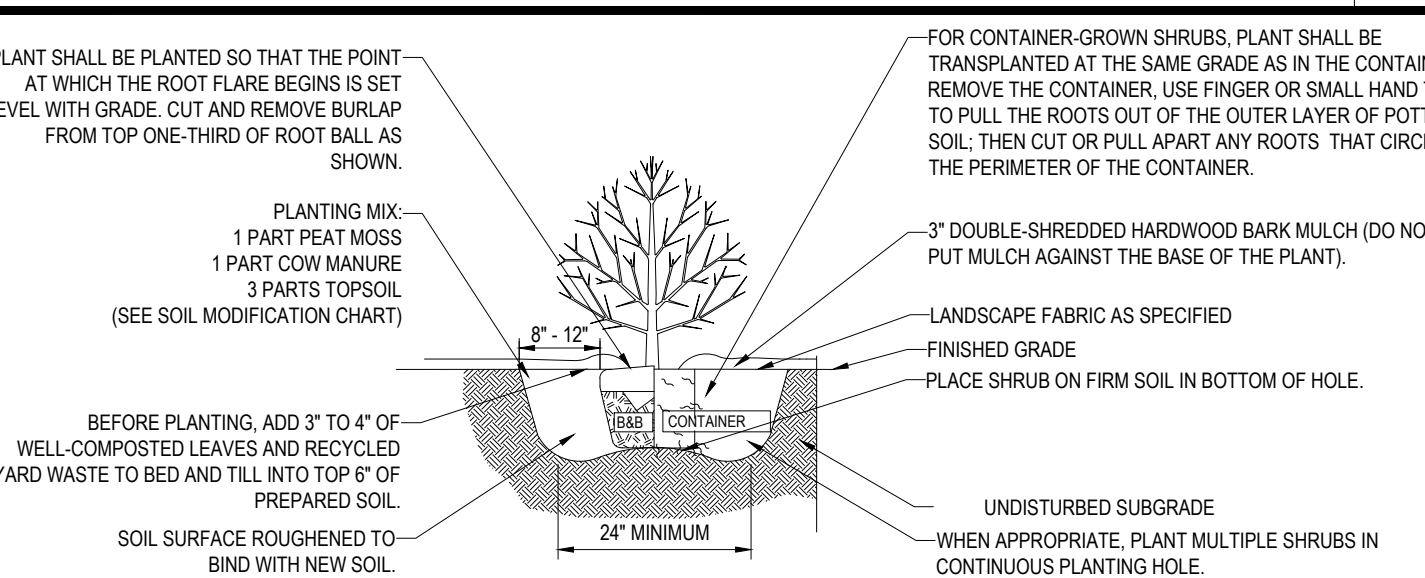
NOTES:

- 1.) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- 2.) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3" FROM ROOT BALL.
- 3.) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
- 4.) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- 5.) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
- 6.) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL.
- 7.) SUBSTITUTE ARBORVITAE STAKING SYSTEM WHEN SPECIFIED.



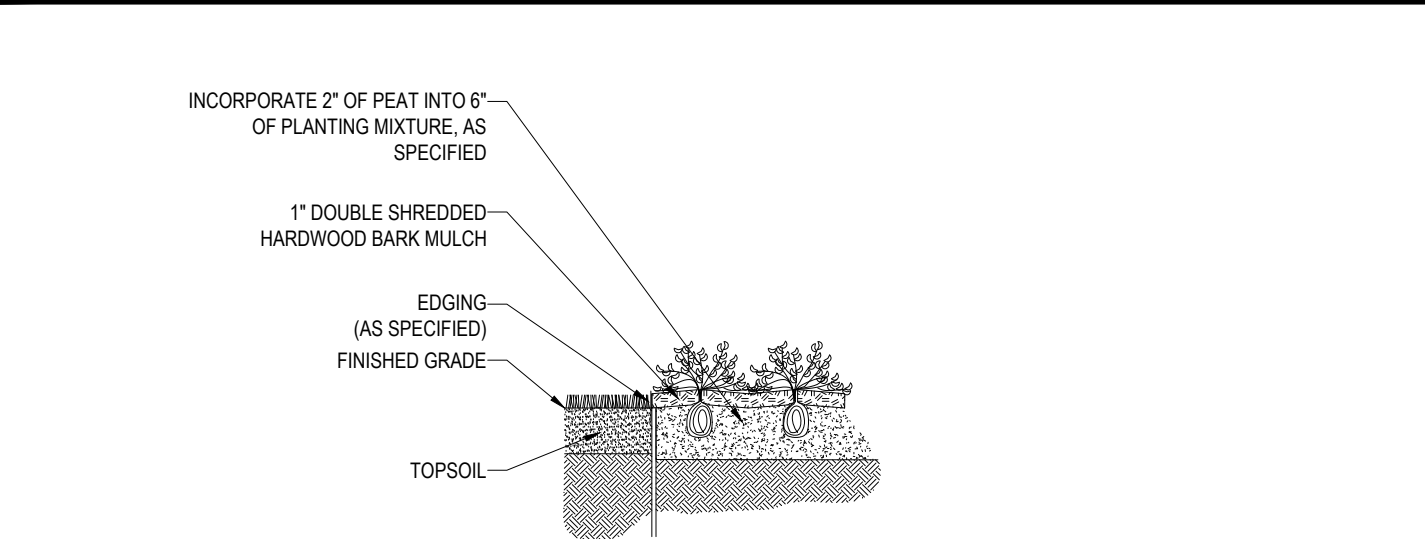
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

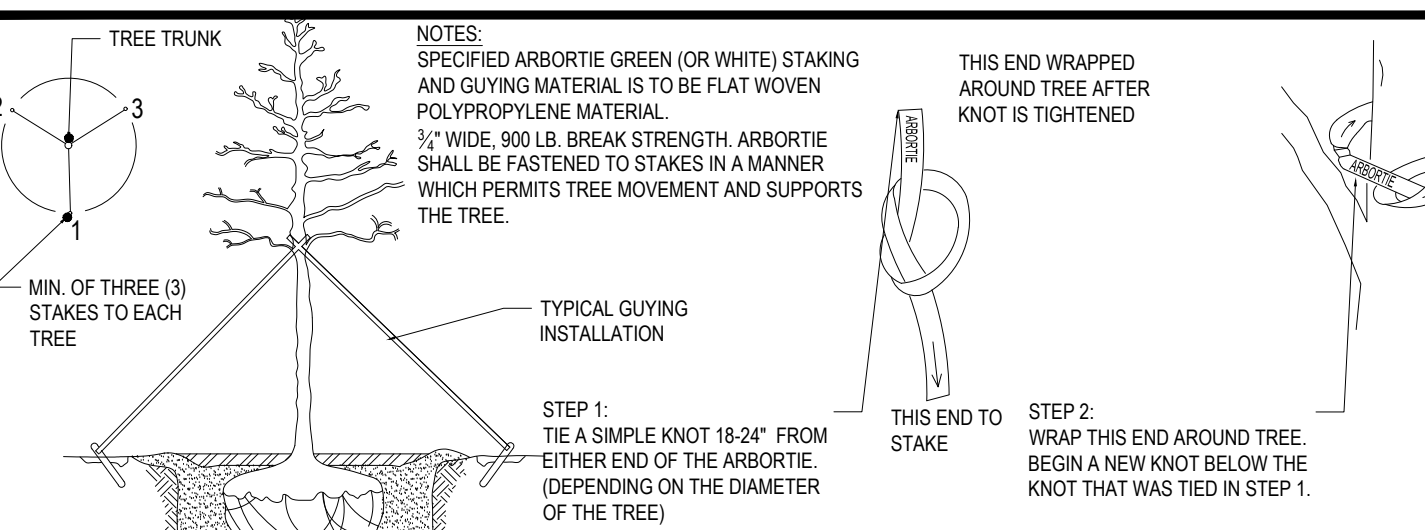


GROUNDCOVER PLANTING

N.T.S.

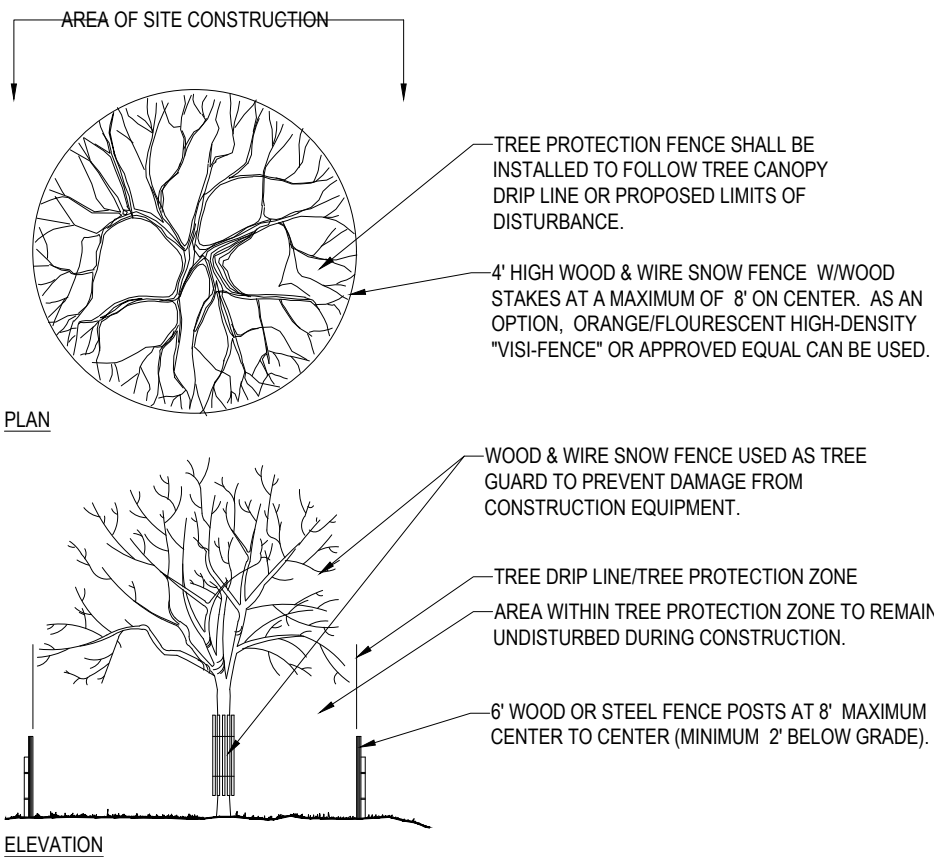
1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:
- | | |
|-------------------------|-------------------|
| • PERENNIAL RYEGRASS | 1/2 LB/1000 SQ FT |
| • KENTUCKY BLUEGRASS | 1 LB/1000 SQ FT |
| • RED FESCUE | 1/2 LB/1000 SQ FT |
| • SPREADING FESCUE | 1/2 LB/1000 SQ FT |
| • FERTILIZER (16-32-16) | 2 LB/1000 SQ FT |
| • LIQUID LIME | 1 GAL/800 GAL |
| • TANK TACKIFIER | 35 LB/800 GAL |
| • TANK FIBER MULCH | 30 LB/1000 SQ FT |
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

HYDROSEED SPECIFICATIONS



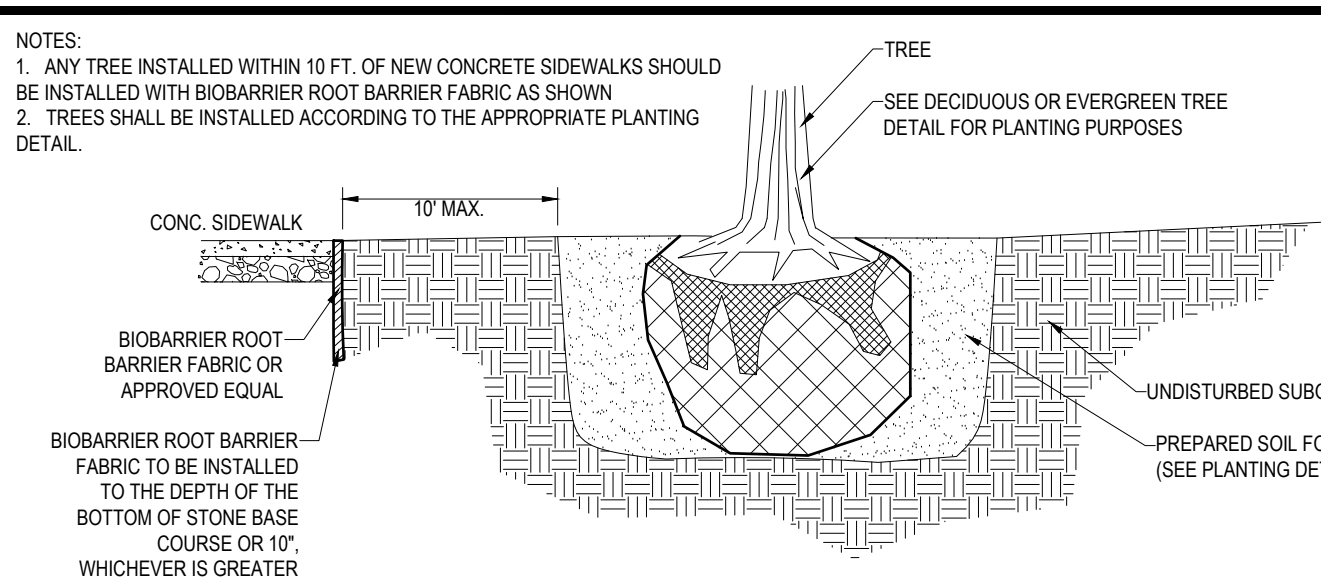
ARBORVITAE STAKING DETAIL

N.T.S.



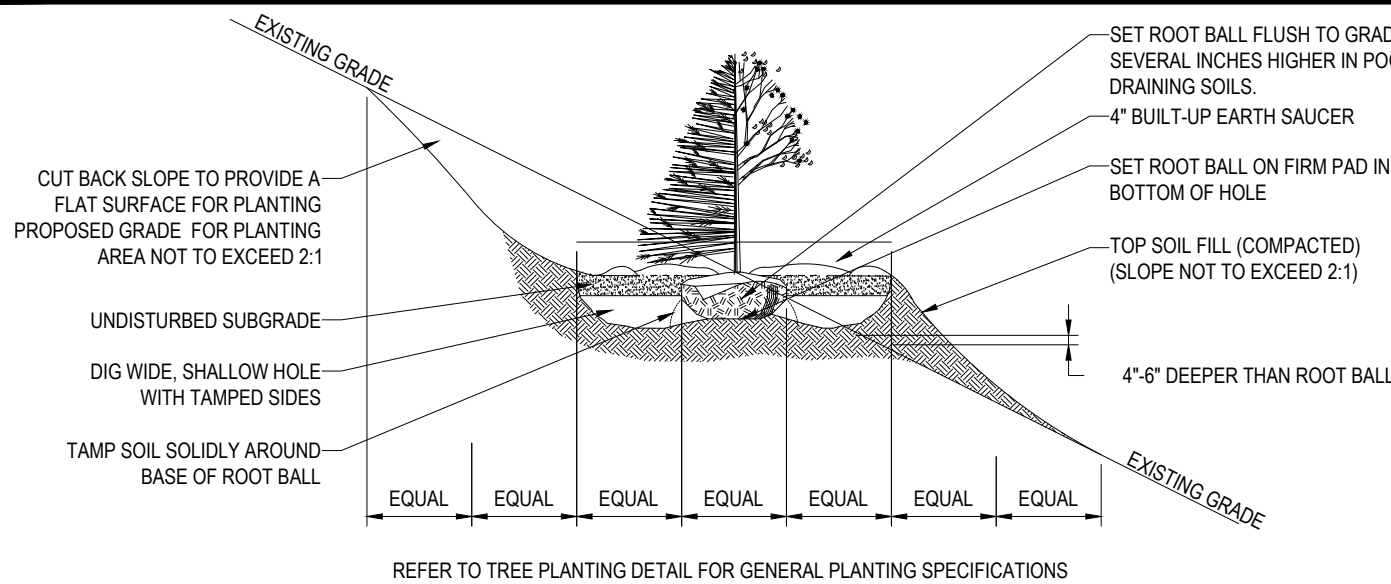
TREE PROTECTION DURING SITE CONSTRUCTION

N.T.S.



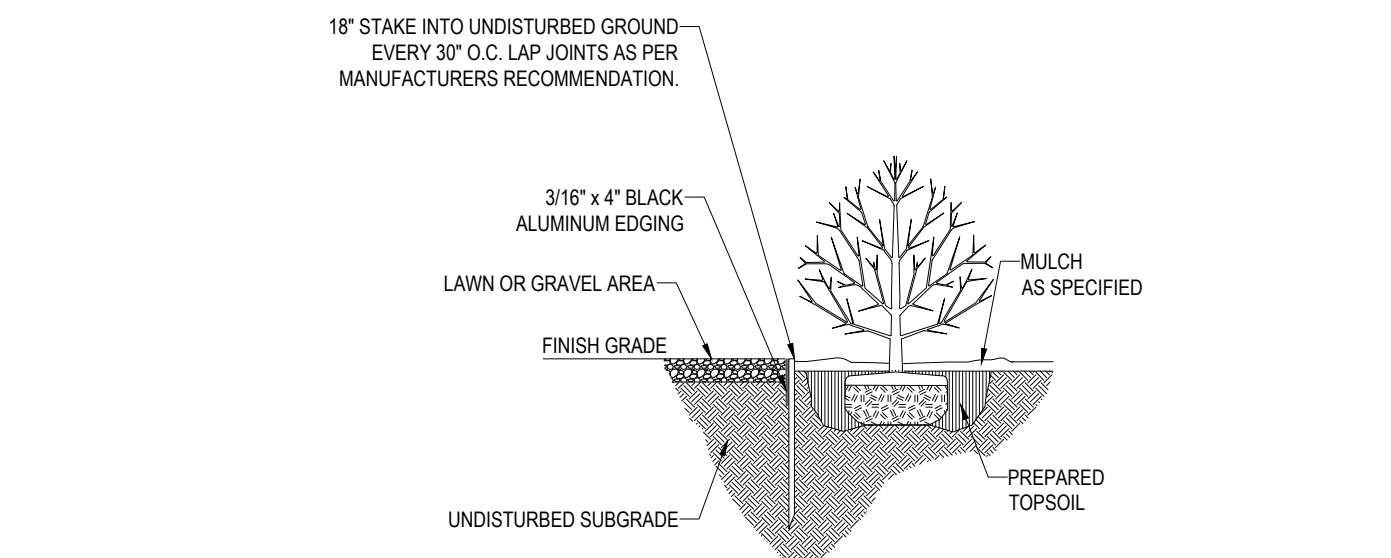
BIOBARRIER ROOT BARRIER DETAIL

N.T.S.



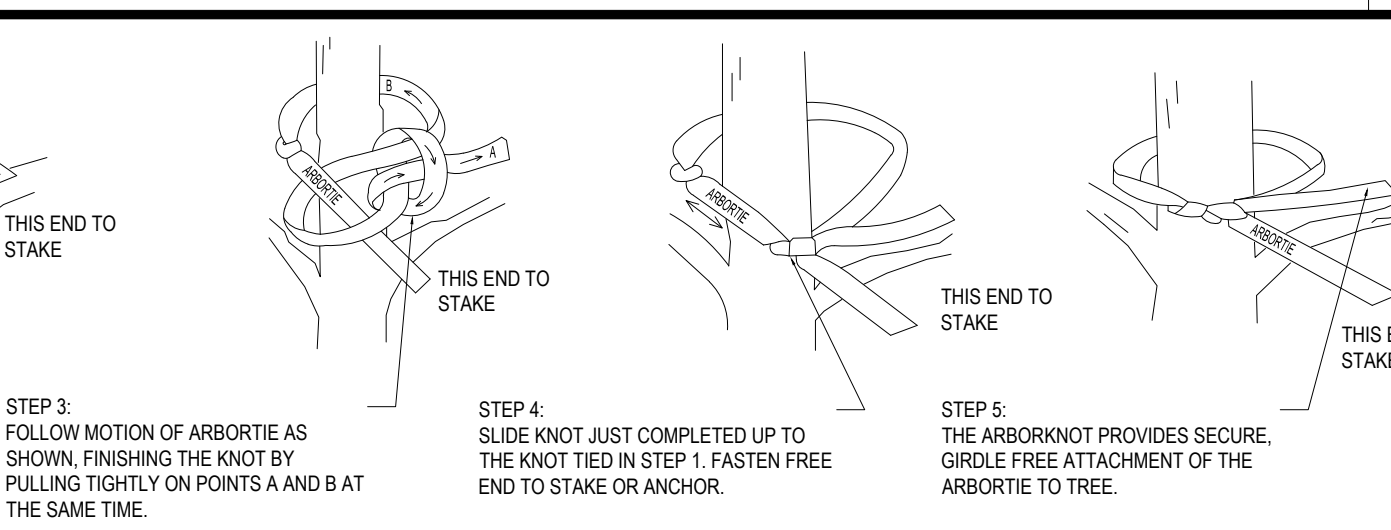
TREE PLANTING DETAIL - ON SLOPE

N.T.S.



BLACK ALUMINUM EDGING

N.T.S.



REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	02/22/21	PER TOWN COMMENTS	NPD
2	03/05/21	PER TOWN COMMENTS	RMM



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PROJECT No.:	W161132
DRAWN BY:	CFD/NDP
CHECKED BY:	RMM
DATE:	01/21/2021
CAD ID:	W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

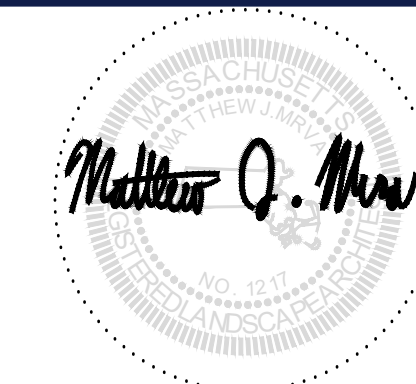
1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.

PROPOSED
CITIZENS BANK REDEVELOPMENT
MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com



SHEET TITLE:

LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:

C-702

REVISION 2 - 03/05/21

REVISION 2 - 03/05/21

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- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - × TC 123.45 EXISTING TOP OF CURB ELEVATION
 - × G 122.95 EXISTING GUTTER ELEVATION
 - × TW 123.45 EXISTING TOP OF WALL ELEVATION
 - × BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - × FF 123.45 EXISTING FINISHED FLOOR ELEVATION
 - HYDRANT
 - WATER VALVE
 - GAS VALVE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND CABLE LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND GAS LINE
 - AREA LIGHT
 - VACUUM
 - SIGN
 - BOLLARD
 - PAINTED ARROWS
 - DMH DRAINAGE/STORM MANHOLE
 - EMH ELECTRIC MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - TMH TELEPHONE MANHOLE
 - CB CATCH BASIN OR INLET
 - TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DEPRESSED CURB
 - DWP DETECTABLE WARNING PAD
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - HT HEIGHT
 - BLDG BUILDING
 - BFFA BUILDING FOOTPRINT AREA
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - TOW TOP OF WATER
 - BUILDING DIMENSION
 - GC GRANITE CURB
 - CC CONCRETE CURB
 - UG UNDER GROUND
 - CLF CHAIN LINK FENCE
 - DOC DEPRESSED CURB
 - EOC EDGE OF CONCRETE
 - EOP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - (TYP) TYPICAL

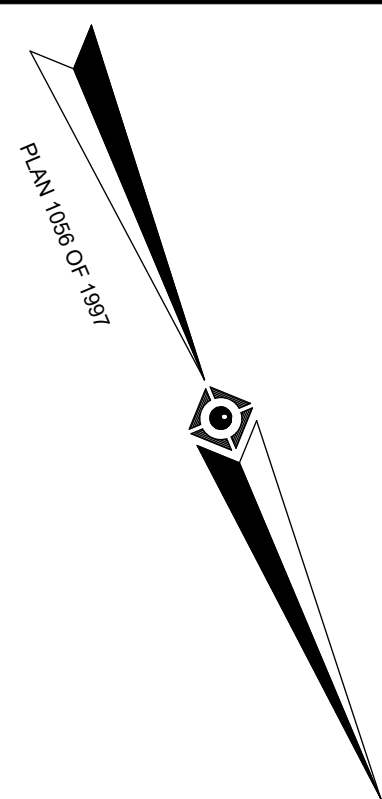
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800-288-2020
VERIZON	800-922-0204
ZAYO	866-364-0033
COMCAST	800-834-6489
CENTURYLINK	866-642-0444
CROWN CASTLE NG NETWORKS	855-913-4237
MCI	888-624-5622
MBTA	800-392-6100
RCN	800-748-4726
EVERSOURCE ELECTRIC	800-592-2000
NATIONAL GRID GAS	800-233-5325
ALCONQUIN GAS/SPECTRA ENERGY	617-254-4050
FIRSTLIGHT - WAVEGUIDE	617-892-9700



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
(NOT TO SCALE)

NOTES:

- PROPERTY KNOWN AS LOT 1, BLOCK 1 AS SHOWN ON THE TOWN OF ARLINGTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS. MAP NO. 170.
 - AREA = 19,727 SQUARE FEET OR 0.453 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12A, BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:
- | | |
|--|--------------------|
| TBM-A: MAG NAIL SET IN BRICK SIDEWALK, | ELEVATION = 154.38 |
| TBM-B: MAG NAIL SET IN BRICK SIDEWALK, | ELEVATION = 156.41 |
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF ARLINGTON, MIDDLESEX COUNTY, MASSACHUSETTS, SHEET #173.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 416 OF 656," MAP NUMBER 25017C0416C, EFFECTIVE DATE: JUNE 4, 2010.
- MAP ENTITLED "PLAN OF LAND IN ARLINGTON BELONGING TO JOSEPH H. EATON," PREPARED BY J.O. GOODWIN, DATED DECEMBER 1895, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS.
- MAP ENTITLED "PLAN OF LAND, 1406 MASSACHUSETTS AVE, ARLINGTON, MA," PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DATED MARCH 9, 2010, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 464 OF 2010.
- MAP ENTITLED "PHASE II PAUL REVERE CROSSING CONDOMINIUM, MODIFICATION, MASTER DEED PLAN IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY ROBER SURVEY, DATED SEPTEMBER 19, 2013, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 800 OF 2013.
- MAP ENTITLED "SITE PLAN, 65-67 PAUL REVERE ROAD, CONDOMINIUM," PREPARED BY CCR ASSOCIATES, INC., DATED MARCH 12, 2012, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 177 OF 2012.
- MAP ENTITLED "PAUL REVERE CROSSING CONDOMINIUM, MASTER DEED PLAN IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY ROBER SURVEY, DATED APRIL 1, 2013, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 217 OF 2013.
- MAP ENTITLED "SUBDIVISION OF LAND IN ARLINGTON - MASS.," PREPARED BY JOSEPH J. SULLIVAN, DATED JUNE 1969, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 659 OF 1969.
- MAP ENTITLED "PLAN OF LAND IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY H&R SURVEY, DATED AUGUST 18, 1997, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 1058 OF 1997.
- MAP ENTITLED "SUBDIVISION PLAN OF LAND, ARLINGTON, MASS.," PREPARED BY SELWYN & KIRWIN ASSOCIATES, DATED DECEMBER 4, 1979, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 1527 OF 1979.
- MAP ENTITLED "ALTA/ACSM LAND TITLED SURVEY, PREPARED FOR CITIZENS BANK, CITIZENS FINANCIAL GROUP, 1420 MASSACHUSETTS AVENUE, CITY OF ARLINGTON, COUNTY OF MIDDLESEX, STATE OF MASSACHUSETTS," PREPARED BY MILLMAN SURVEYING, DATED APRIL 18, 2006, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 1564 OF 2006.
- MAP ENTITLED "SUB-DIVISION OF LAND IN ARLINGTON MASS.," PREPARED BY JOS. J. SULLIVAN, DATED DECEMBER, 1952, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 96 OF 1953.
- MAP ENTITLED "BOSTON EDISON COMPANY, TRANSMISSION AND DISTRIBUTION DEPT.," RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS IN BOOK 7343, PAGE 58.
- UNDERGROUND ELECTRIC FACILITY MAPPING PROVIDED BY EVERSOURCE
- UNDERGROUND COMMUNICATION LINE MAPPING PROVIDED BY RCN
- PLAN SET ENTITLED "SITE REDEVELOPMENT PLANS FOR BIERBRIER DEVELOPMENT, INC. #1406 MASSACHUSETTS AVENUE, ARLINGTON, MA.," DATED AUGUST 19, 2009, PREPARED BY ALLEN & MAJOR ASSOCIATES, INC.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL

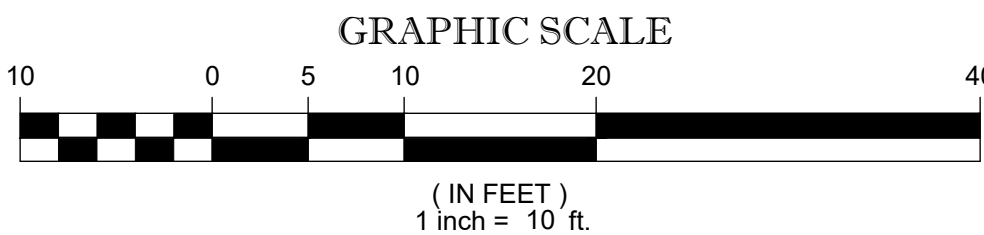


8-28-20
DATE

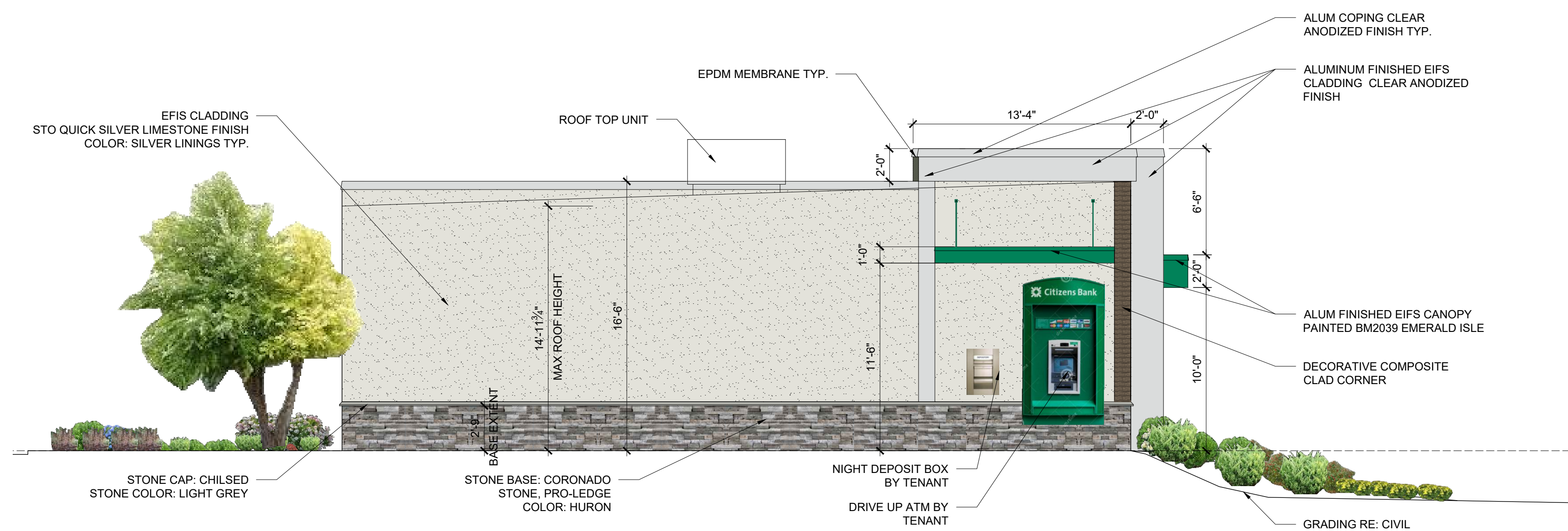
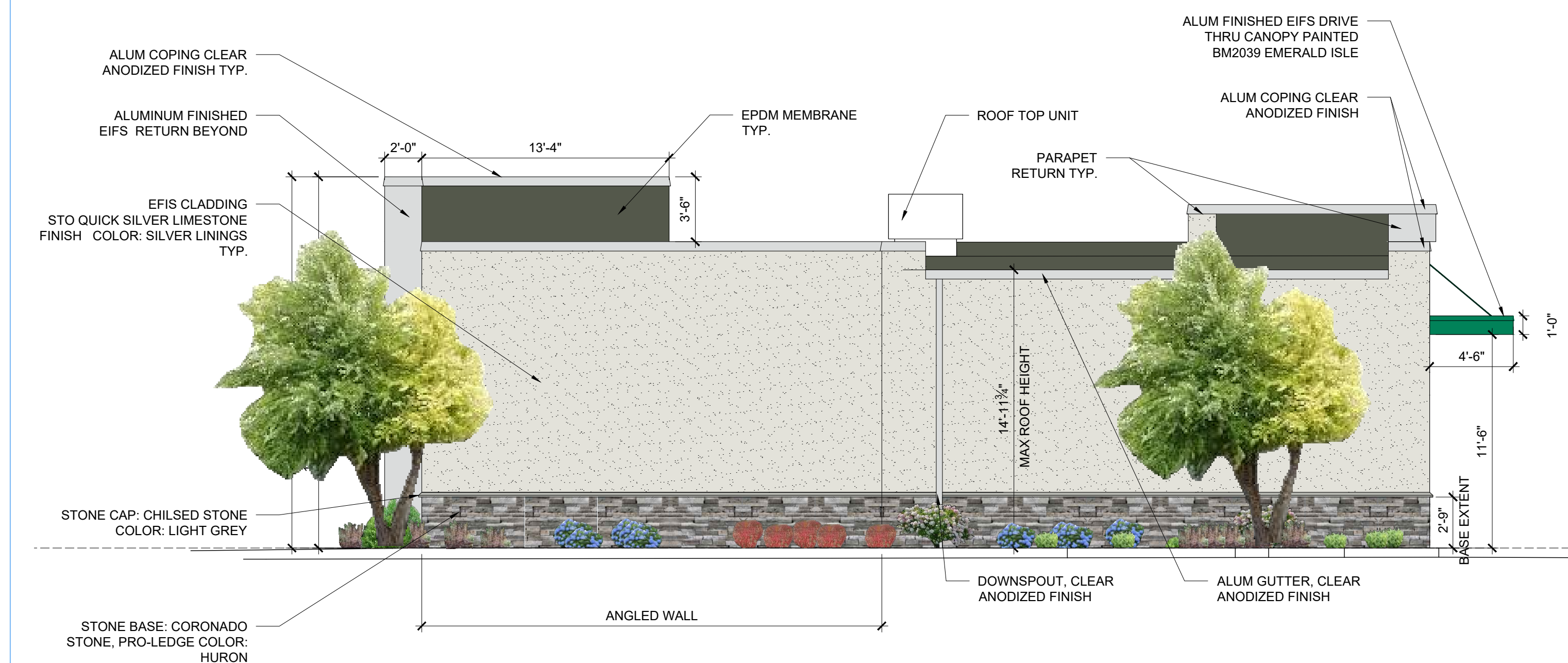
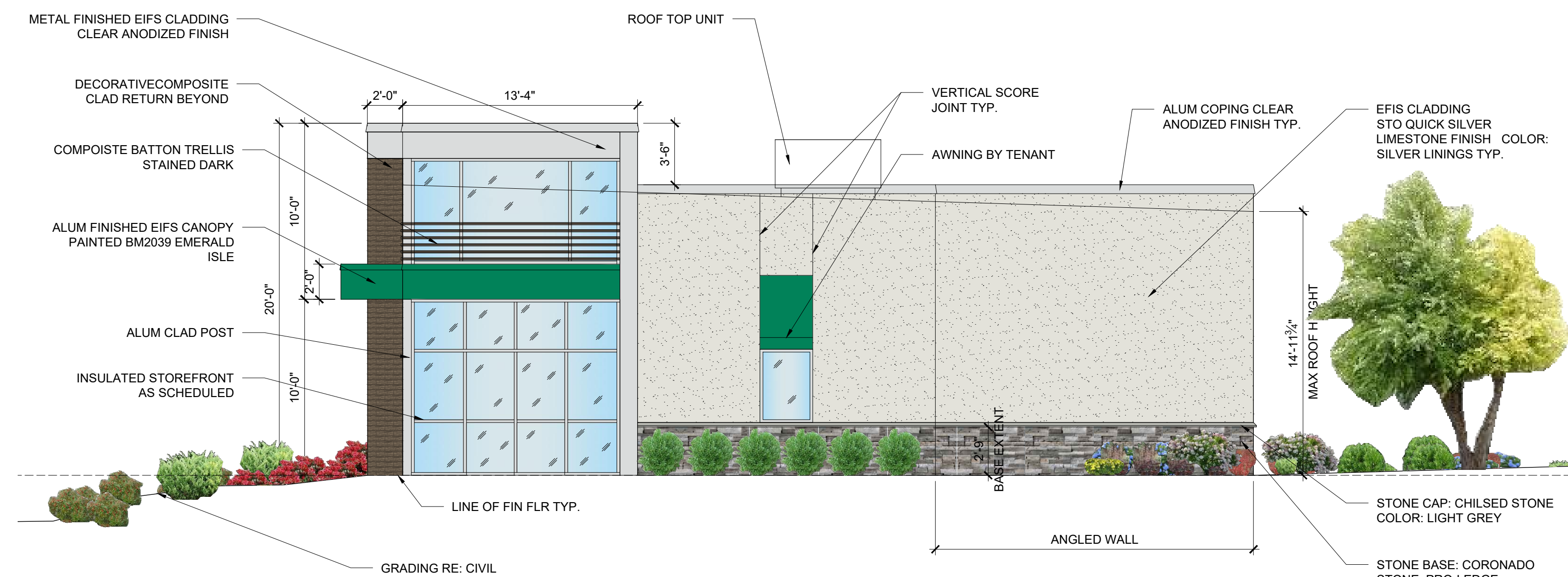
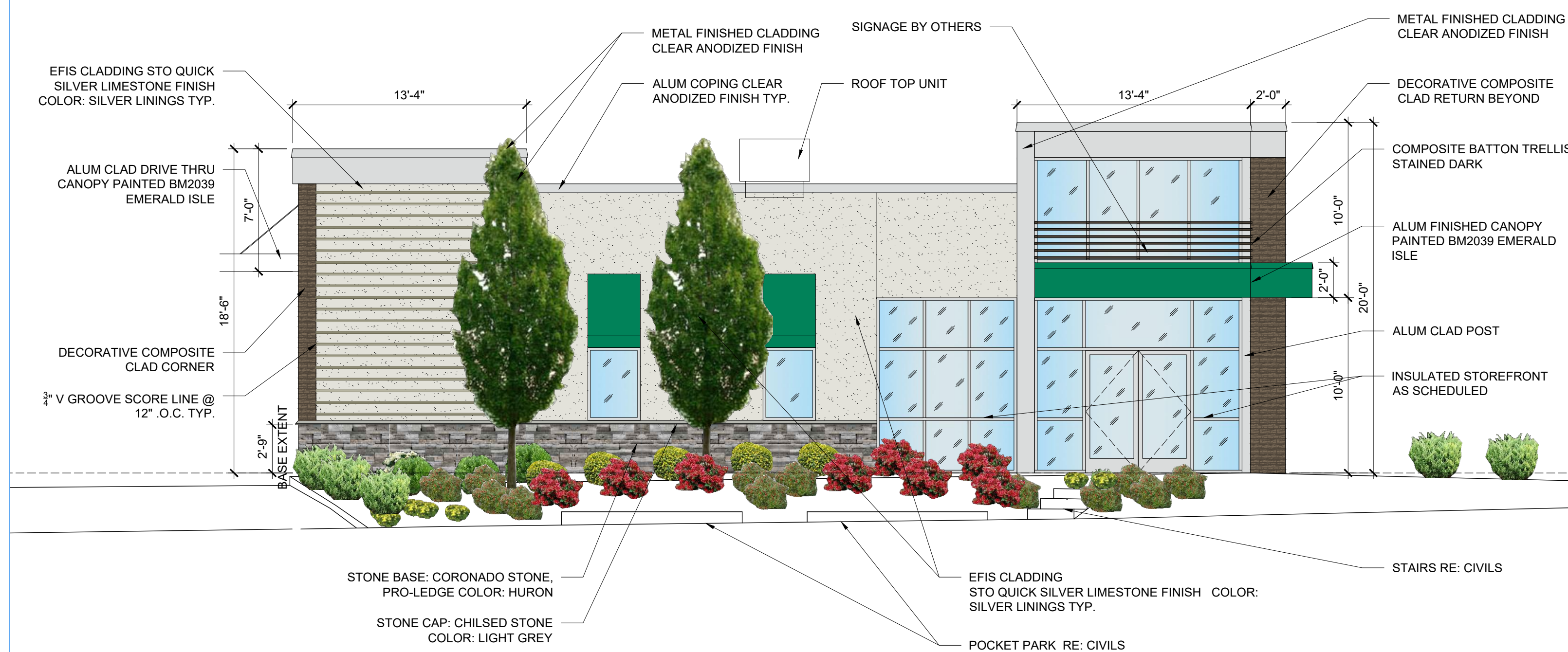
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	6-30-16	BOUNDARY AND TOPOGRAPHIC SURVEY 1420 MASSACHUSETTS AVENUE, LLC 1420 MASSACHUSETTS AVENUE LOT 4.A, BLOCK 2, MAP 173 TOWN OF ARLINGTON, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS	
FIELD BOOK NO.	71-72		
FIELD BOOK PGS.	16-03MA		
FIELD CREW	B.S.B.		
DRAWN:	INDO	CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTH BOKROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX	MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2099 CHALFONTE, PA 215.712.9600 WARREN, NJ 908.668.0999

REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
S.P.P.	G.L.H.	7-15-16	1"=10'	03-160131A	1 OF 1



No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
2	CONTOURS & GRADES ADDED & ROADWAY DETAIL ADDED	-	S.P.P.	G.L.H.	08-28-2020
1	REVISED PER ATTORNEY'S COMMENTS	-	S.P.P.	G.L.H.	08-03-16





Citizens

SIGN SUBMITTAL PACKAGE

Arlington Heights



GENERAL NOTES & PERMIT TIMES

ELECTRICAL ACCESS

It is recommend for Electrician to put all exterior signage on a single circuit with a timer or photo-cell to allow for signs to illuminate at night only.

TABLE OF CONTENTS

VARIANCE

PAGE	SIGN TYPE	SQ.FT.	COLOR	REQUIRED?	EXPLANATION (IF REQ.)
2	Site map				
Massachusetts Avenue					
3	S1 - ICLL-2-18 - Illum. White channel letters	15.09	White	No	
4	S3 - ALB-1 - Green awning with light bar	-	Green	No	
11	S8 - Green window vinyl 77" H x 73" W	-	Green	No	
7	S9 - DHR-2 - Door hours double doors	-	White	No	
7	S10 - DH-1 - Door handles	-	Green	No	
Total Sign Area Requested this Elevation		15.09			
Right Side (West) Entry Elevation					
5	S2 - ICLL-2-18 - Illum. White channel letters	15.09	White	Yes	
6	S4 - ALB-1 - Green awning with light bar	-	Green	No	
Total Sign Area Requested this Elevation		15.09			
Left Side (East) Drive Thru					
8	S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.	-	Green	No	
8	S6 - ATM-NGP-1 - ATM network panel	-	Gray	No	
	S7 - Removed from scope	10.5	Green	Yes	
Total Sign Area Requested this Elevation		10.5			
Freestanding Signage					
11	S11 - D/F Pylon Sign Reface				
12	Code Check				
Total Sign Area Allowable		40			
Total Sign Area Requested		40.68			
Difference		0.68			

CONTACTS

PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

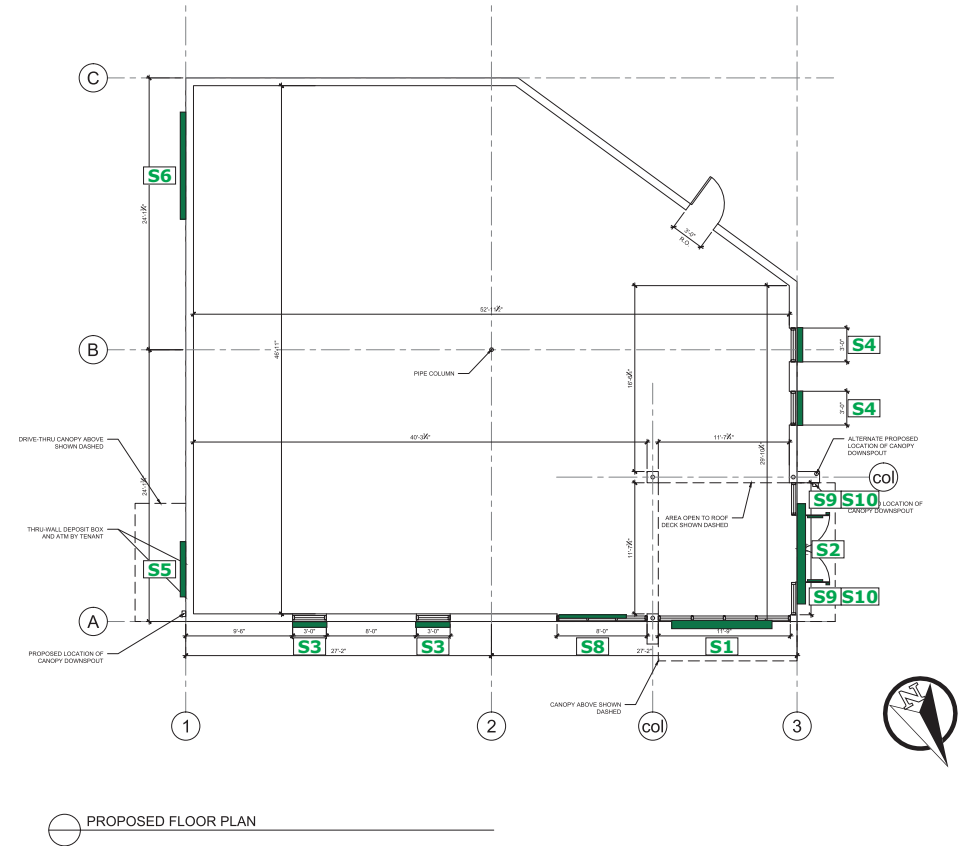
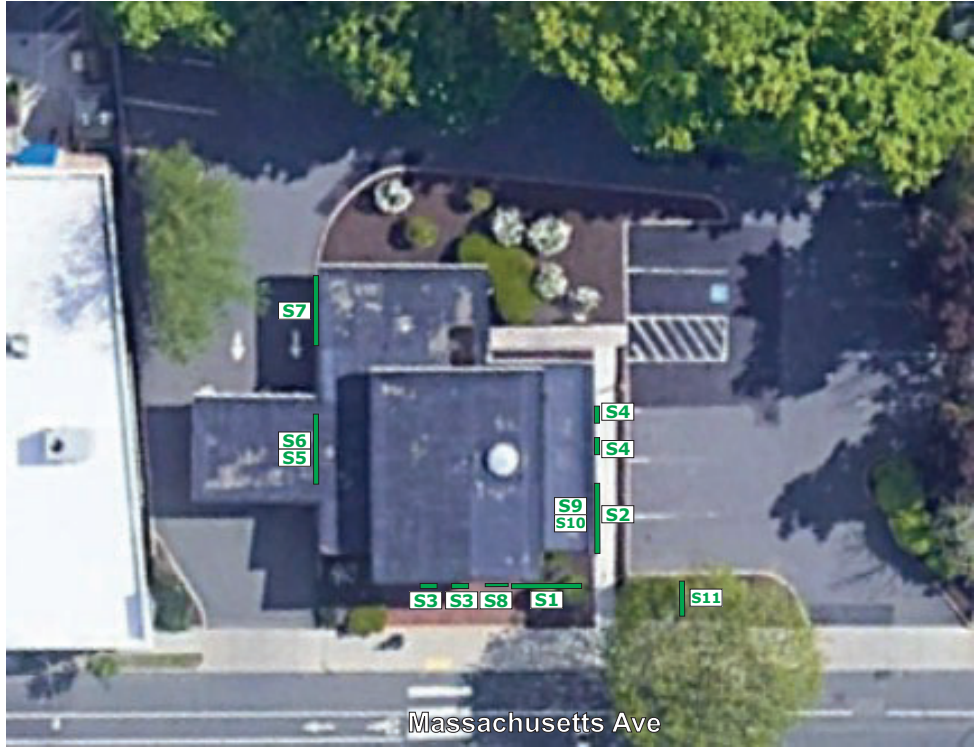
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PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☒ YES ☐ TBD
BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA
DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights



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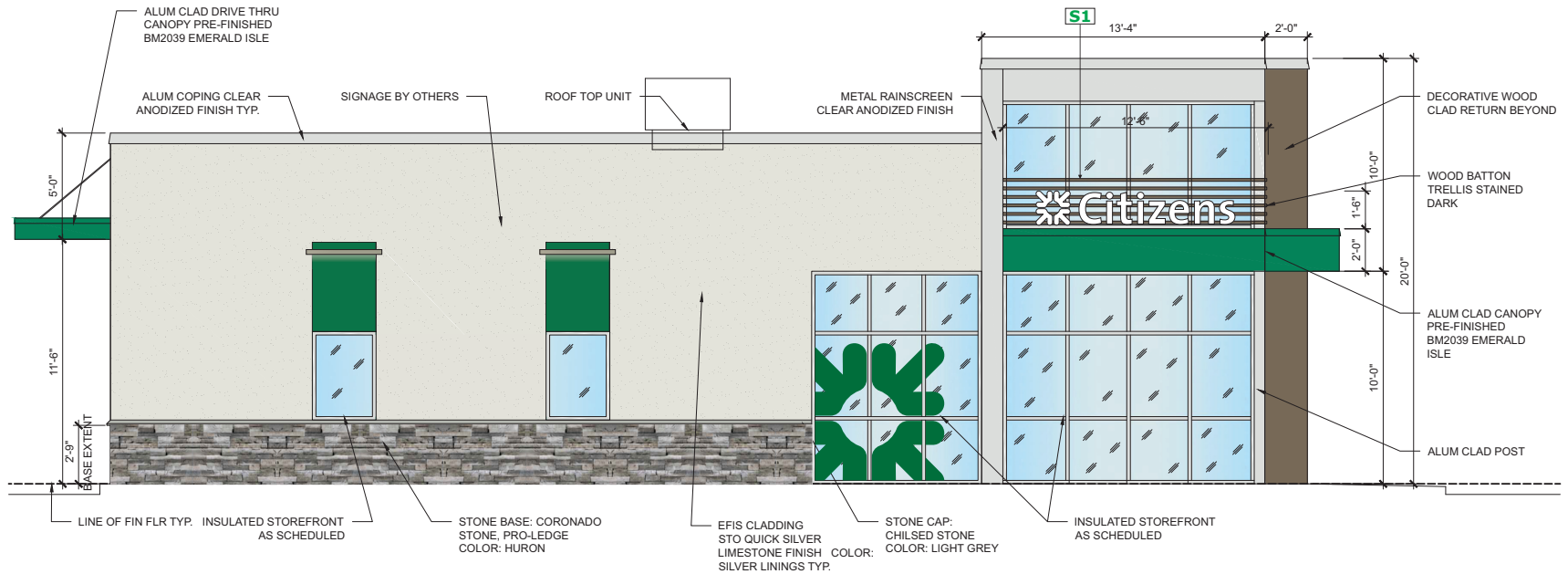
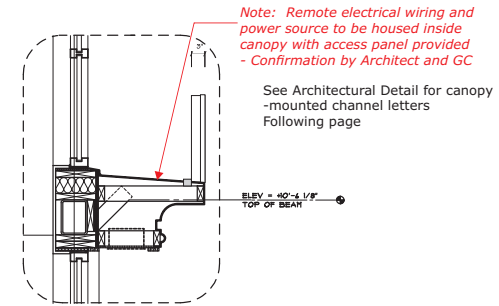
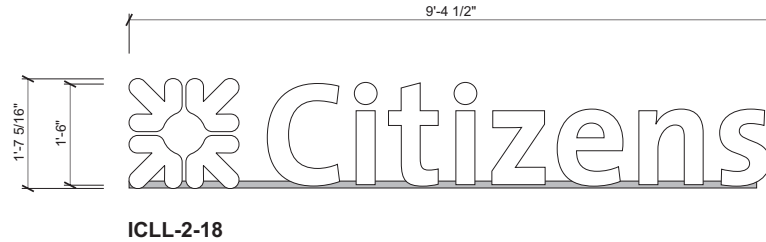
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SITE MAP

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S1 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
 Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



 **PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)**
 SCALE: 3/16"=1'-0"



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 Devin White
CITIZENS BANK PROJECT MANAGER:
CITIZENS BANK DESIGN MANAGER:

APPROVAL STAMP:

MARKET STREET

Page 3 of 13

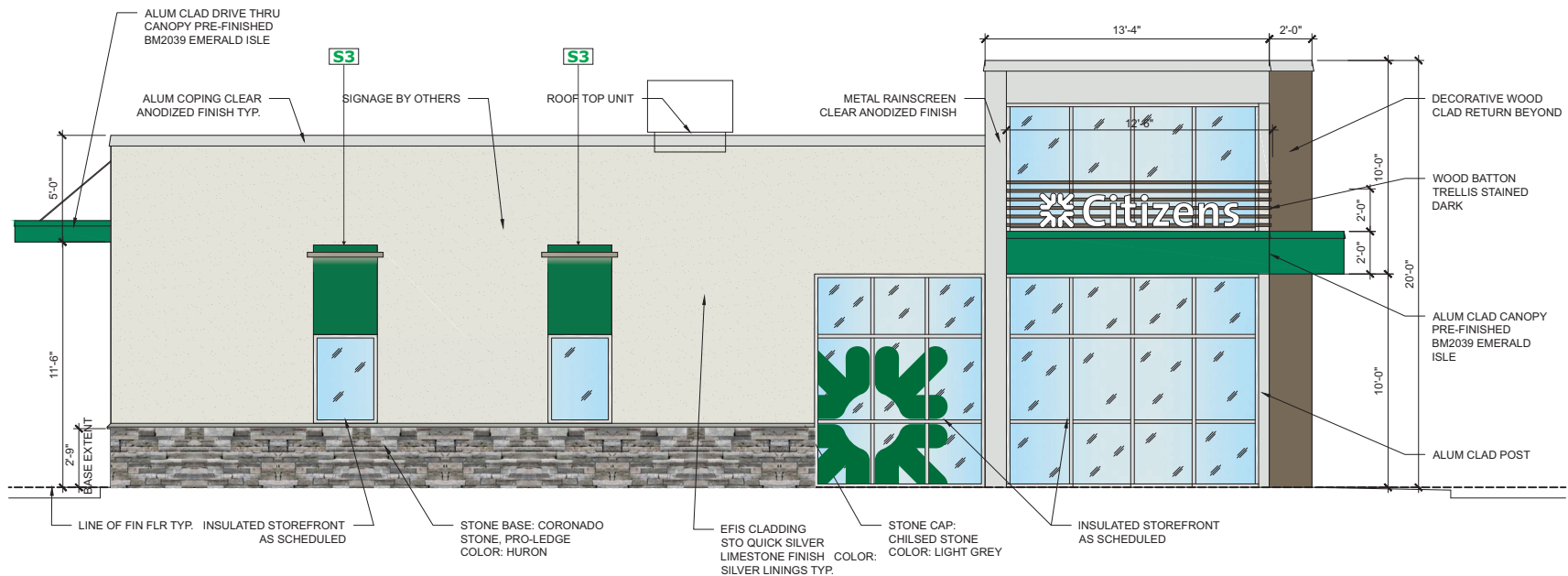
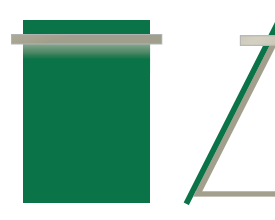
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S3 - ALB-1 - Green awning with light bar

Note: Dimensions ($\pm 4'-2"H \times \pm 3'-0"W$) to be verified

Note: Electrical required 120v @ 3 amps required.

Conduit stub out required for awning light bar by GC.



PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)

SCALE: 3/16"=1'-0"



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Citizens - Arlington Heights

1420 Massachusetts Avenue

Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021

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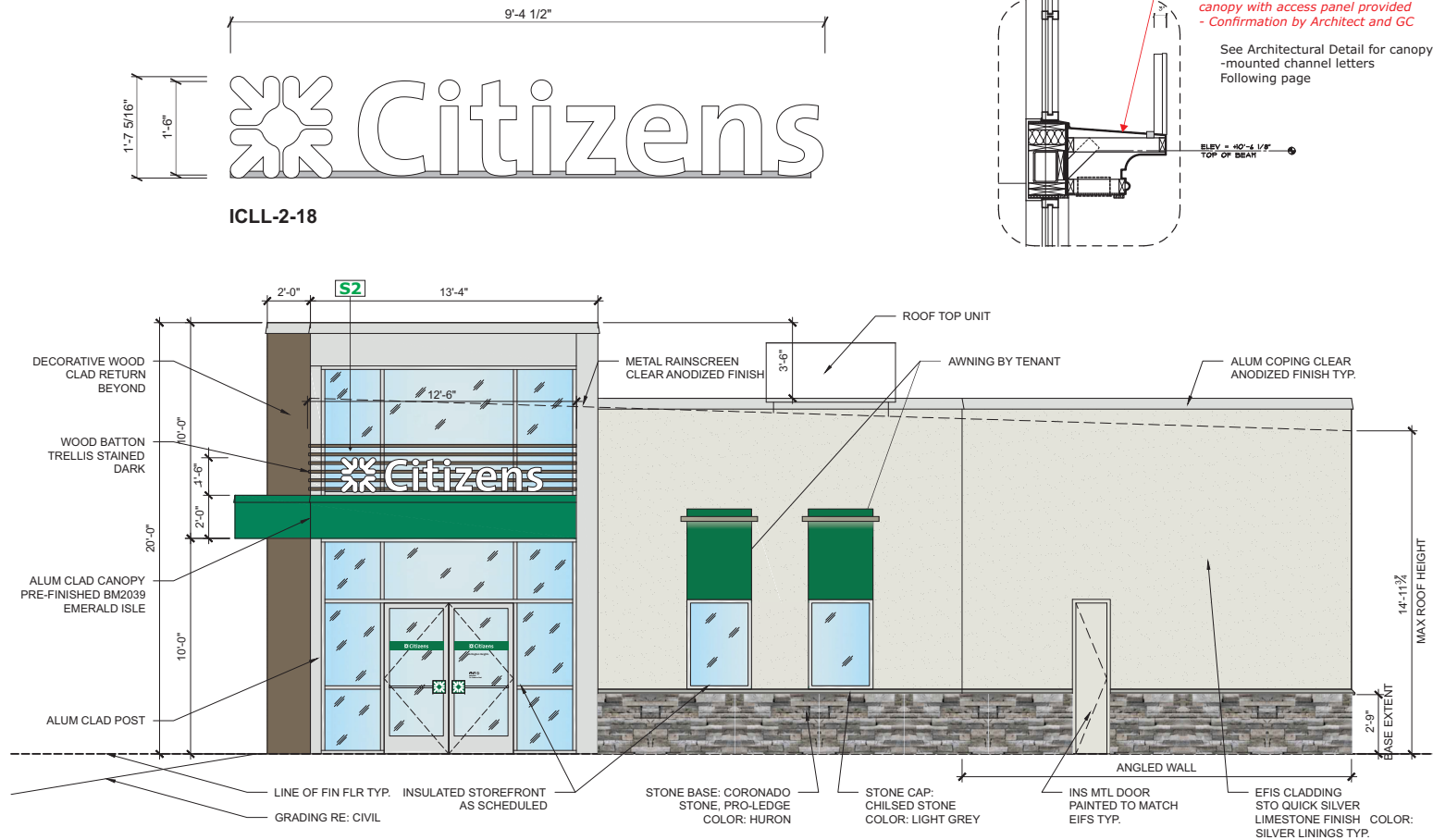
APPROVAL STAMP:

MARKET STREET

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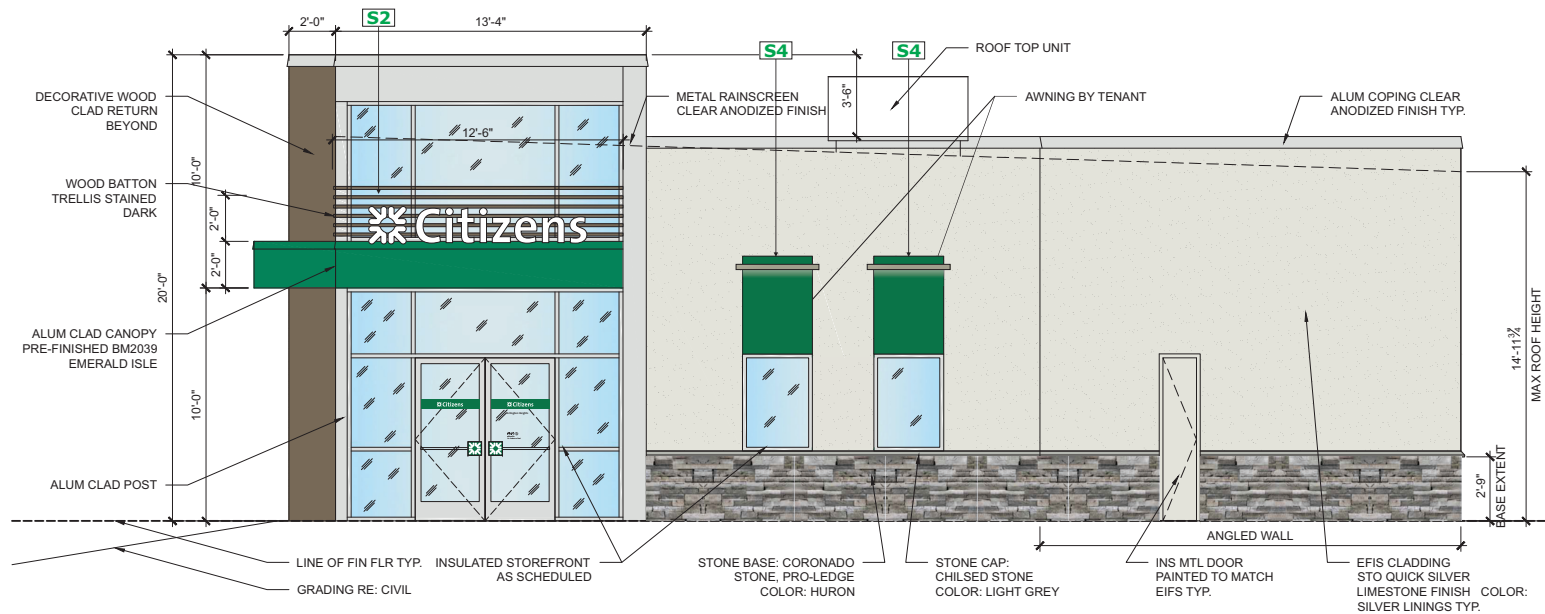
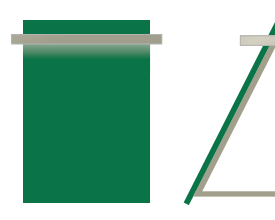
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S2 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)
SCALE: 3/16"=1'-0"

Note: Dimensions ($\pm 4'-2''H \times \pm 3'-0''W$) to be verified
Note: Electrical required 120v @ 3 amps required.
Conduit stub out required for awning light bar by GC.

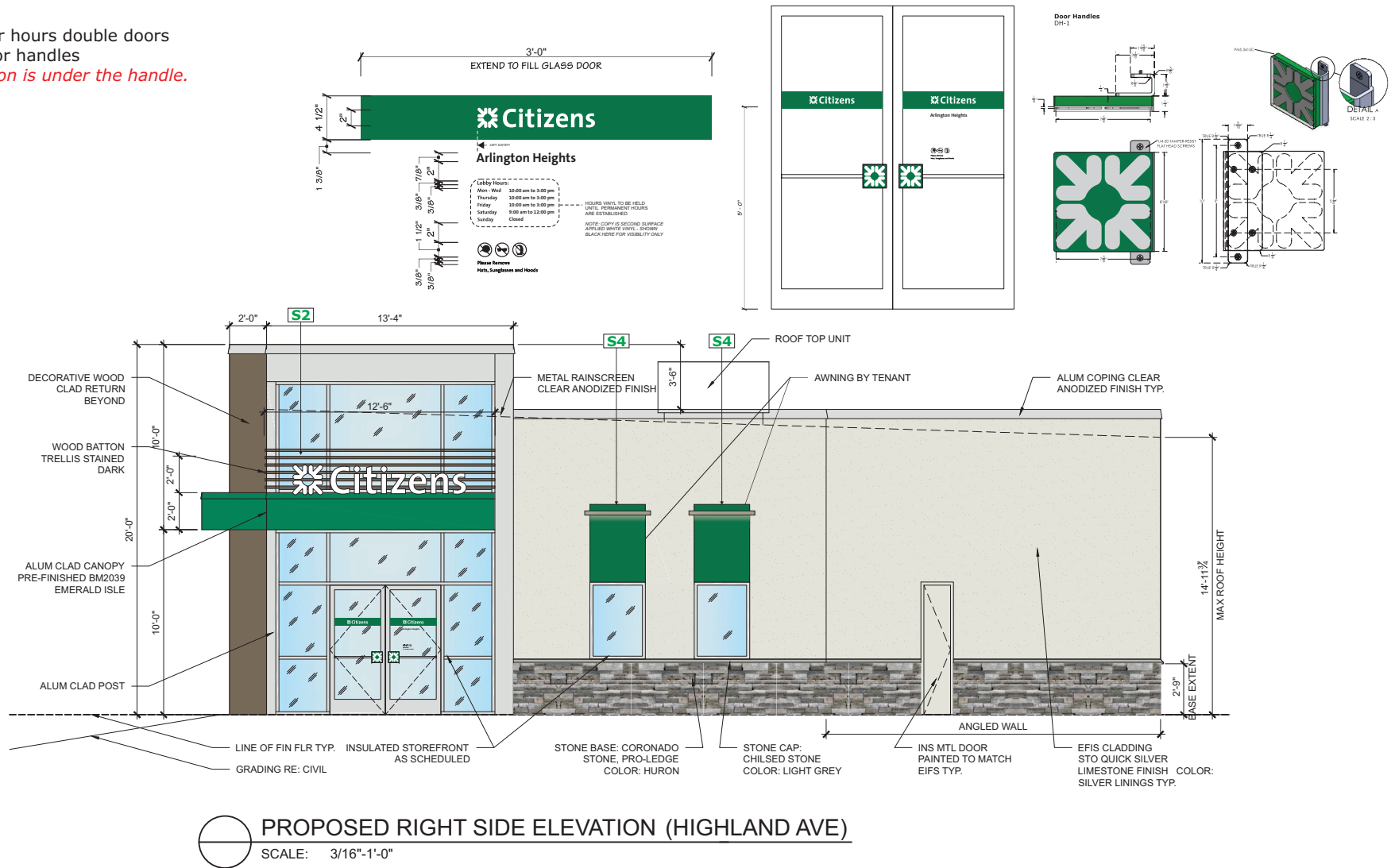


PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)
SCALE: 3/16"=1'-0"



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S9 - DHR-2 - Door hours double doors
 S10 - DH-1 - Door handles
Note: Lock position is under the handle.



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BRANCH NAME & ADDRESS:
 Citizens - Arlington Heights
 1420 Massachusetts Avenue
 Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
 PATH: O:\Citizens Bank\Site Folders\Arlington Heights

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 Devin White
 CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

APPROVAL STAMP:

MARKET STREET

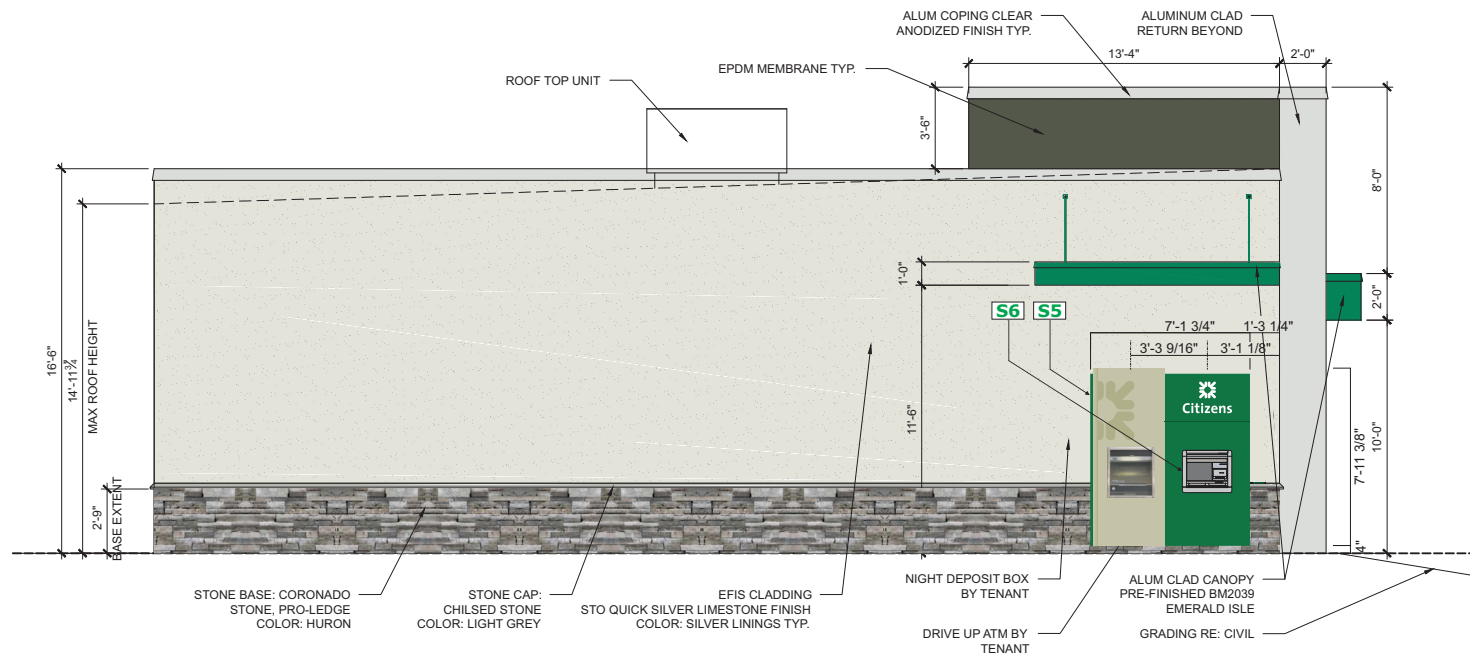
Page 7 of 13

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S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.

S6 - ATM-NGP-1 - ATM network panel

Note: Dimensions and placement of ATM and Night Depository to be confirmed



PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)
SCALE: 3/16"=1'-0"



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Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021

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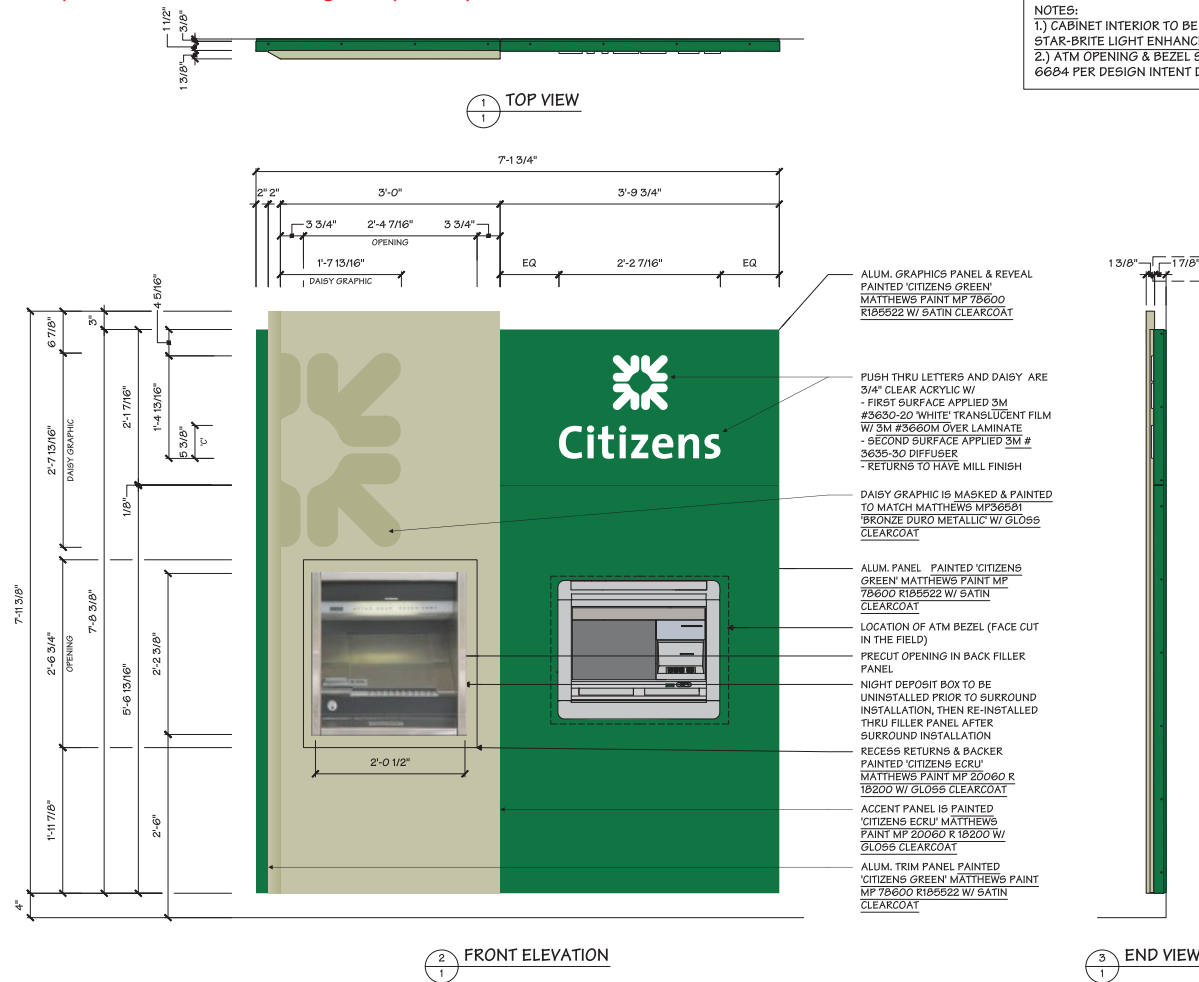
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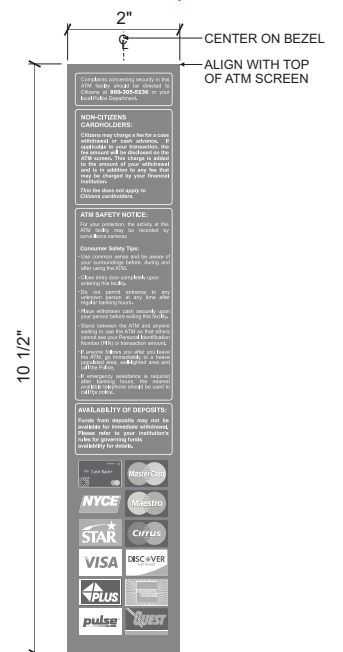
S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.

S6 - ATM-NGP-1 - ATM network panel

Note: Dimensions and placement of ATM and Night Depository to be confirmed



Note: Artwork for Post Birch NGP-1 to be verified by CFG



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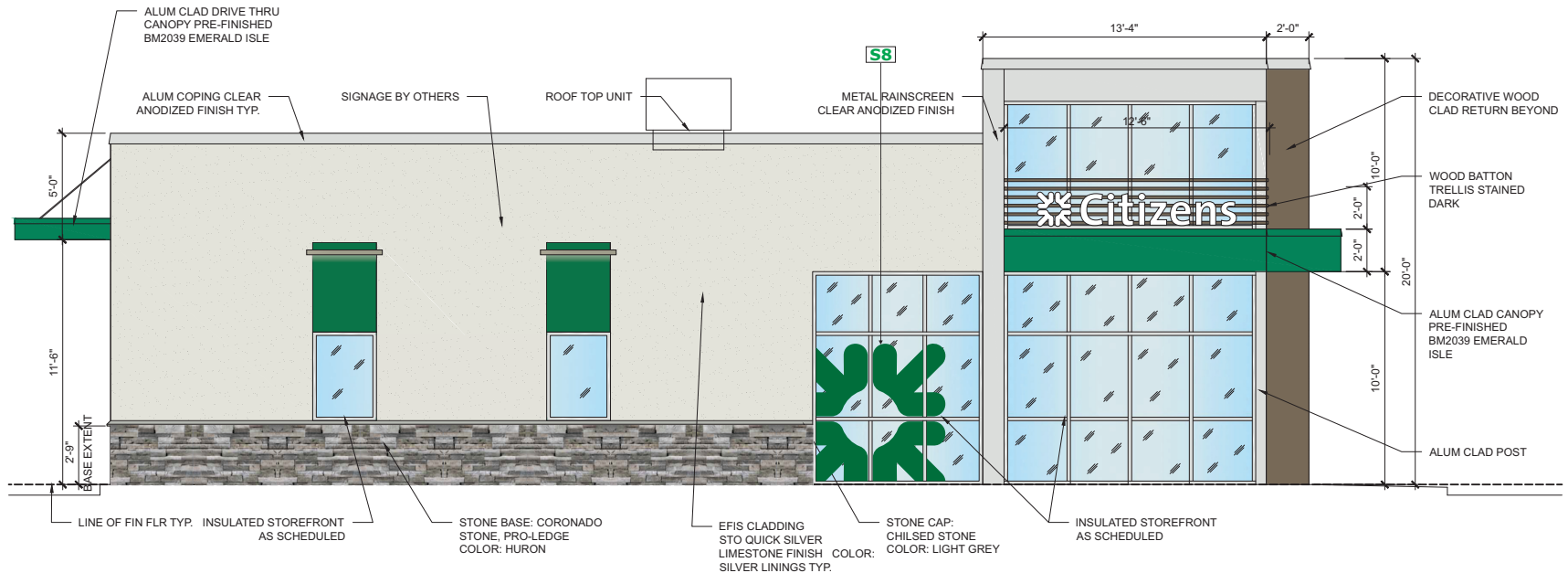
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S8 - Green window vinyl

77" High x 73" Wide

Note: To be provided and installed by MZ



PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)

SCALE: 3/16"-1'-0"



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Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021

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CONTACTS

PROJECT MANAGER:

Devin White

CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

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S11 - Reface existing double-faced Pylon Sign
Note: Reface only, Dimensions to be determined



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PRE-PERMIT SIGN INFO		Property ID: ARLINGTON -001
A.) Project Name:	Citizens Bank	DATE COMPLETED 1/11/21
B.) Street Address:	1420 Massachusetts Avenue	
C.) Town / City / State / Zip:	Arlington, MA 02476	
D.) Contact for Permit/Zoning:	Jennifer Raitt	
E.) Contact Telephone:	781-316-3090	
F.) Jurisdiction: City/Town:	Town of Arlington	Address: 730 Mass Avenue Annex
or, County of:		City, ST Zip: Arlington, MA 02476

G.) Zoning Classification for property:	B4 Vehicular Oriented Business District.
H.) Is there a Master Sign Plan?	No MSP was found during research, there may be an MSP in place here, we strongly suggest checking with the
I.) Is a permit required?	Yes.
J.) What documents are required to file for the permit?	Application: https://www.arlingtonma.gov/home/showpublisheddocument?id=1952
K.) How long is the permit process?	3-5 weeks.
are there special reviews involved?	Not indicated during research, however the town reserves the right to request additional review(s) based on
overlay districts?	See above.
city and county review required?	See above.
design review board / ARB / DRB ?	See above.
community association review required?	See above.
L.) What are the fees for a sign permit?	https://www.arlingtonma.gov/departments/inspectional-services/applications-fees-forms/permit-fees
M.) Is engineering needed for wall signs?	May be required based on the scope of work, subject to plan review.
N.) Does engineering require a PE stamp?	See above.
O.) Is landlord approval required?	Yes.
P.) Legal Description Required for permit?	Yes.
Q.) Plat/Site Plan required for permit?	Yes.

ATTACHED SIGNS & WINDOW GRAPHICS

1.) Formula for calculating wall sign square footage (Max. Sq. Footage - Primary & Sq.Ft allowance for bldg. sides/rear:	Wall signs: Maximum 40 sq. ft. per business.
The total sign area for signs on single-tenant or multi-tenant buildings may be placed on any building elevation, subject to the following standards:	
(1) At least 1 sign must be placed above or associated with the building entry;	
(2) The width of the sign shall be no greater than 60% of the width of the building element on which it is displayed;	
(3) Signs shall be placed at least 12 inches or 20% of the width of the building element on which they are mounted, whichever is less, from the sides of the building element;	
(4) Signs shall be placed at least 12 inches or 20% of the height of the building element on which they are mounted, whichever is less, from the top and bottom edge of the building element; and	
(5) Signs shall be placed no higher than the lowest of the following:	
a. 25 ft. above grade;	
b. The bottom of the sill of the first level of windows above the first story; or	
c. The cornice line of the building at the building line.	

3.) How is the sign area calculated?	Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background. Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign. Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings. Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated. Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.
4.) Total # Wall Signs allowed per building elevation:	Wall signs: Maximum 1 per frontage.
5.) What is the max letter/character height allowed?	Signs shall be placed no higher than the lowest of the following:
6.) Does the ordinance restrict color, design or illumination?	Illumination: Non-Illuminated, internally illuminated, or externally illuminated. See
7.) Does window vinyl need to be permitted, if so how much is allowed?	Combined area of permanent and temporary window signs must not exceed
8.) Is the entire graphic calculated or just the company logo and name?	Entire graphic area.

FREESTANDING SIGNS

1.) Formula for calculating freestanding sign sq. footage (Max Sq Footage- Primary & Secondary signs):	Monument signs: Maximum 24 sq. ft. The name of a property is included in the area and height limits for freestanding signs.
2.) # F/S Signs allowed:	Monument signs: Maximum 1 per frontage. Internal illumination allowed: Monument signs: Non-Illuminated or
3.) Height Maximum:	Monument signs: Maximum 8 feet to the Clearance from grade to sign: Must be monument signs.
4.) Set-back of sign from right-of-way or property line:	Monument signs: Minimum 5 feet setback from property line. Signs may not be placed on property at any corner formed by intersecting streets, within the triangular area formed between the property lines and a diagonal line joining points on the property lines 25 feet from the point of their intersection, or in the case of rounded property line corners, the triangular area between the tangents to the curve at such corner and a diagonal line joining points on the tangents 25 feet from the point of their intersection.

DIRECTIONAL SIGNS

5.) Number Allowed:	Wall sign directional/driveway: Max 3 per lot. Maximum Square Footage: Wall sign directional/driveway: Max. 3 sq. ft. per
6.) Illumination Allowed?	Wall sign directional/driveway: Non-Illuminated Maximum Height: Wall sign directional/driveway: Mounting height-
7.) Permit Required?:	Wall sign directional/driveway: Sign permit Customer Logo Allowed: Not stipulated by code, subject to plan review.



2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: R/C NUMBER:

REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD

BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021

PATH: O:\Citizens Bank\Site Folders\Arlington Heights

CONTACTS

PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

APPROVAL STAMP:

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TEMPORARY BANNERS	
1.) What temporary sign types are allowed?	Allowed Sign Types: A-Frame or Upright Signs; Yard Sign Type I, II, and III; Wall Banners; and Window
2.) What is the max sign size area?	Max. 24 sq. ft. per business; excludes the area of temporary wall banner signs and window signs.
3.) How is the sign area calculated?	<p>Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background.</p> <p>Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign.</p> <p>Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings.</p> <p>Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated.</p> <p>Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.</p>
4.) Are logos factored into sign area?	Yes.
5.) How many signs per elevation?	Number of Signs: Unlimited, except that the total sign area must not exceed 24 sq. ft. per business.
6.) How long can signs be up?	A temporary sign permit for a wall banner is valid for 60 days beginning with the date of issuance.
7.) Does the ordinance restrict color, design or illumination?	<p>A temporary sign permit is required for the display of temporary wall banner signs. Portable and temporary signs are not counted toward the total allowable sign area or number of permanent signs. Sign placement must not create a hazard for pedestrian or vehicular traffic and must allow for a 4-foot wide sidewalk to comply with the Americans with Disabilities Act.</p> <p>Signs must be of sufficient weight and durability to withstand wind gusts, storms, etc., for the safety of pedestrians, bicyclists, and vehicles.</p> <p>Prohibited Elements: Illumination, including flashing, blinking, or rotating lights; animation; reflective materials; and attachments, including balloons, ribbons, loudspeakers, etc.</p> <p>Temporary wall banner: Signs must be mounted on a building wall or on T-posts or stakes installed 6 inches or less from the wall.</p>
VARIANCE INFORMATION	
1.) Variance cost?	\$400.00 and up.
2.) Variance time frame?	2-5 months.
3.) Variance document deadline?	One month prior to meeting.
4.) Variance meeting dates?	https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-
5.) Variance documents required?	https://www.arlingtonma.gov/home/showpublisheddocument?id=24805
6.) How many sets?	7 sets.
7.) Likelihood of variance approval?	35%
DOCUMENTS REQUIRED FOR PERMITS	
Scaled Plot plan <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Building elevations <input checked="" type="checkbox"/> Elevation Drawings <input type="checkbox"/> Electrical Permit <input checked="" type="checkbox"/>
Installation drawings <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Legal description <input type="checkbox"/> Sealed engineering drawings <input type="checkbox"/> Notice of Commencement <input type="checkbox"/>
Sign drawings <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Photo of existing <input checked="" type="checkbox"/> Property Manager's Approval <input type="checkbox"/>

Sign Code: https://www.arlingtonma.gov/home/showpublisheddocument?id=43413
Note: If the Building Inspector determines that a separate electrical or structural permit is required, the applicant shall be notified. The sign permit shall not be issued until all other required permits have been obtained.
Prohibited signs: 1. Bandit signs, 2. Cabinet signs, and 3. Electronic message centers or electronic displays.
Signs with the following display features are prohibited: 1. Animated features which rotate, move, or give the appearance of moving by mechanical, wind, or other means. 2. Lighting devices with intermittent, flashing, rotating, blinking or strobe light illumination, animation, motion picture, or laser or motion picture projection, or any lighting effect creating the illusion of motion, as well as laser or hologram lights. 3. Internally illuminated signs with a directly exposed light source, except for neon incorporated into the design of a permanent window sign. 4. Surfaces that reflect light by means of a glossy, polished, or mirrored surface.
Numerals and letters up to 2 square feet in area used to identify an address are not included in the determination of sign area.
All allowed permanent signs may be non-illuminated, illuminated by internal light fixtures, halo illuminated, or illuminated by external indirect illumination, unless otherwise specified. All temporary signs must be nonilluminated. 1. No sign shall be illuminated between 12:00 AM and 6:00 AM, except signs identifying emergency services such as police and ambulance stations or hospitals and signs on premises open for business during that time. 2. Internally Illuminated Signs: a. Internally illuminated signs include signs constructed with pan channel letters, preferably without raceways, or internal/indirect halo illuminated channel letters on an unlit or otherwise indistinguishable background on a freestanding sign or building wall. b. Single-color LED signs are considered internally illuminated signs. 3. Externally Illuminated Signs. Externally illuminated signs must be illuminated only with steady, stationary, fully-shielded light sources directed solely onto the sign without causing glare. The light source for externally illuminated signs must be arranged and shielded to substantially confine all direct light rays to the sign face and away from streets and adjacent properties. 4. Direct illumination is limited to marquee signs; see Section 6.2.5(C)(6) and is limited to the illumination of letters, numbers, symbols and accents on the marquee sign. Exposed lamps may only be animated to create an effect of patterned illusionary movement provided the alternate or sequential activation of the illuminated elements occurs on a cycle that exceeds two seconds.
Neon or single-color LED signs placed in a window count toward the aggregate area for all window signs and must not exceed 25 percent of the area of the window. Any individual neon or single-color LED sign must not exceed four square feet in area. Other uses of neon are prohibited.
Structure and Installation: (1) Any angle iron, bracing, guy wires, or similar features used to support a sign must not be visible to the extent technically feasible. (2) Where electrical service is provided to freestanding signs or building mounted signs, the service must be placed underground and concealed. Electrical service to building mounted signs, including conduit, housings, and wire, must be concealed or, when necessary, painted to match the surface of the structure upon which they are mounted. A building permit shall be issued prior to installation of any new signs requiring electrical service. (3) Raceway cabinets shall only be used in building mounted signs when access to the wall behind the sign is not feasible, shall not extend in width and height beyond the area of the sign, and shall match the color of the building to which it is attached. Where a raceway cabinet provides a contrast background to sign copy, the colored area is counted in the total allowable sign area allowed for the site or business. A raceway cabinet is not a cabinet sign. (4) All permanent signs allowed by this Section must be constructed of durable materials capable of withstanding continuous exposure to the elements and the conditions of a built-up environment and must be permanently attached to the ground, a building or another structure by direct attachment to a rigid wall, frame, or structure.
Monument signs: Landscaping- A landscaped area consisting of shrubs, and/or perennial ground cover plants with a max. spacing of 3 ft. on center is required around the base of the signs. The landscape area must be a min. of 2 sq. ft. for each 1 sq. ft. of sign area.



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PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD
BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights

CONTACTS
PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:
CITIZENS BANK DESIGN MANAGER:

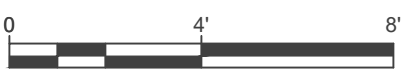
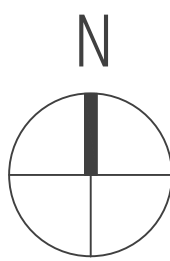
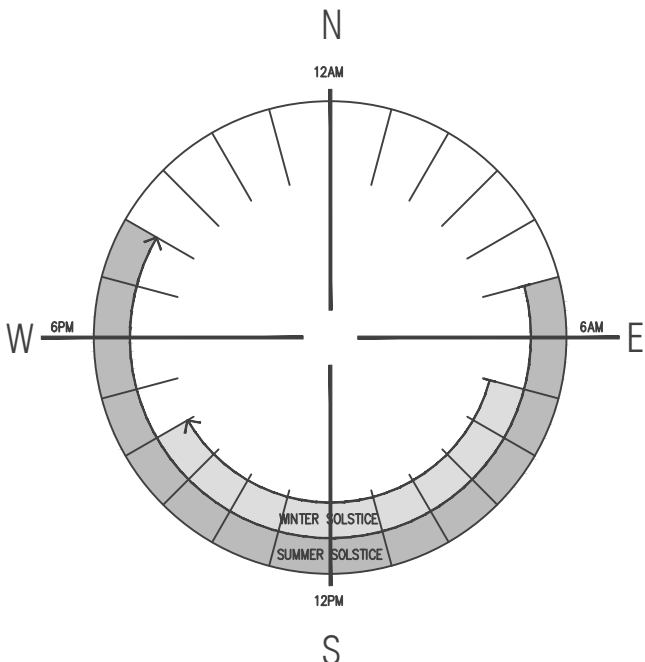
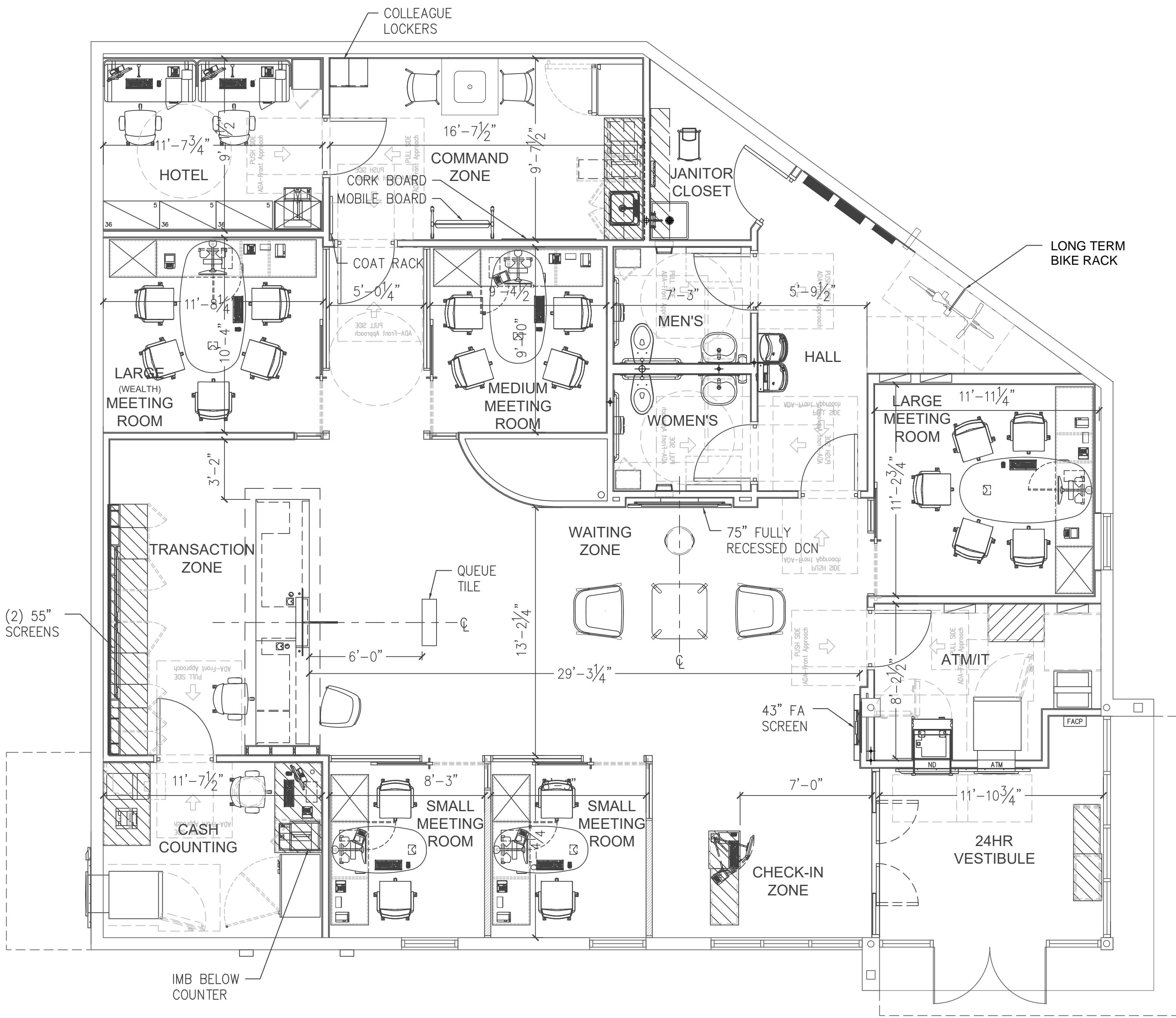
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Page 13 of 13

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KEYNOTES

- D1 XXXX.
- D2 XXXX.
- D3 XXXX.
- D4 XXXX.



CITIZENS FINANCIAL GROUP APPROVAL: _____

DATE: _____



ARCHITECTURE
INTERIOR ARCHITECTURE
SPACE PLANNING
FACILITIES MANAGEMENT
PROJECT MANAGEMENT

BISBANO + ASSOCIATES, INC.
RISING SUN MILLS | 188 VALLEY STREET | PROVIDENCE, RI | 02908
VOICE 401.404.8310 FAX 401.404.8311 WWW.BISBANO.COM



ARLINGTON HEIGHTS
420 Massachusetts Ave
Arlington, MA
02474

PROPOSED PLAN

ISSUE TYPE:	TEST FIT	REVISED:	01/14/2021
ISSUE DATE:	01/14/2021	VER01	01/18/2021
DRAWN BY:	JF	VER02	01/19/2021
		VER03	02/02/2021
		VER04	02/16/2021
		VER05	03/05/2021
		VER06	

SCALE:
1/4" = 1'-0"
B+A PROJECT NO:
2021.XX

MARCH 08, 2021

RE: CITIZENS BANK CORE & SHELL LEED CHECKLIST

Citizens Bank Core & Shell
1420 Massachusetts Ave, Arlington, MA
BKA PROJECT NO.: 220145

To Whom it may concern:

This narrative serves as a description of our understanding of the LEED items the above referenced project qualifies for as a core & shell scope. We have also listed the items that could possibly be obtained via, coordination through a LEED consultant and coordination with the tenant fit out scope. This narrative does not commit the developer for LEED certification and serves solely as a description of how the project could become LEED certified with extra analysis and commitment from the applicant.

Current qualifying points:

A) Categories that are intended to comply Note: list below assumes all prerequisites will be met.

- 1) Sensitive land protection – Site complies for option 1 as we are reusing a previously developed site. **(2) points**
- 2) Surrounding density and diverse uses Site complies for option 3 Walkable location. Walkscore.com classifies Arlington with a walkability score between 90-100 or “A walkers paradise” as per the further explanation table **(5) points**
- 3) Access to quality transit-Site complies due to proximity of several bus routes and a large bus station across the street. The bus routes served by both the Bus terminal and along Massachusetts Ave exceed the number of weekday and weekend trips **(6) points**
- 4) Site Assessment: Site complies as a site survey and assessment will be completed by the Civil engineer. **(1) Point**
- 5) Site Development Protect or Restore habitat- Majority of existing building footprint is to be restored, site to remain as-is. **(2) Points**
- 6) Open Space: To create an exterior open space that encourages interaction with the environment, social interaction, passive recreation and physical activities. **(1) Point**
- 7) Outdoor water use reduction- Site qualifies under option 1 as all vegetation does not require irrigation after plantings take root **(2 Points)**
- 8) Indoor Water use reduction: Tenant fitout to comply with a min of 25% water reduction through specification of fixtures **(1) point**
- 9) Water metering: Water meters for indoor plumbing fixtures and domestic hot water to be installed as part of tenant fit out **(1) Point**
- 10) Enhanced commissioning: Proposed systems to meet Option 1 path 1 criteria **(3) Points**
- 11) Construction and Demolition Waste Management: GC to develop construction and waste management plan **(2) Points**
- 12) Enhanced Indoor air quality strategies: Proposed scope could meet 3 strategies **(1) point**
- 13) Construction Indoor Air Quality Management Plan: GC to develop and implement an indoor air quality (IAQ) management plan for the construction and preoccupancy phases of the building. **(1) Point**
- 14) Daylight: Tenant fit out to comply with glare control device and option 2 calculations to meet min 55% of table 2 **(1)Point**
- 15) LEED Accredited professional: A LEED AP will be provided as needed. **(1) Point**

Possible qualifying points:

B) Categories that could comply with further analysis spec modification Note: list below assumes all prerequisites will be met.

- 1) Integrative process: Performance guidelines to be determine based upon further LEED analysis. **(1) Point**
- 2) High Priority Site & Equitable Development: Performance guidelines to be determine based upon further LEED analysis. **(2-3) Points**
- 3) Optimized energy performance: Performance guidelines to be determine based upon further LEED analysis. **(1-18) Points**
- 4) Advanced Energy Metering: Performance guidelines to be determine based upon further LEED analysis. **(1) Point**
- 5) Demand Response: Performance guidelines to be determine based upon further LEED analysis. **(1-2) Points**
- 6) Building Life Cycle Impact Reduction: Performance guidelines to be determine based upon further LEED analysis. **(1-6) Points**
- 7) Building product disclosure & optimization-Environmental Product declarations: Performance guidelines to be determine based upon further LEED analysis. **(1-2) Points**
- 8) Building product disclosure & optimization-Sourcing of Raw materials: Performance guidelines to be determine based upon further LEED analysis. **(1-2) Points**
- 9) Building product disclosure & optimization-Material Ingredients: Performance guidelines to be determine based upon further LEED analysis. **(1-2) Points**
- 10) Low Emitting Materials: Performance guidelines to be determine based upon further LEED analysis and review of tenants finish spec **(1-3) Points**
- 11) Innovation: Performance guidelines to be determine based upon further LEED analysis. **(1-5) Points**
- 12) Regional Priority: Performance guidelines to be determine based upon further LEED analysis. **(1-4) Points**
- 13) Green power and carbon offsets: Performance guidelines to be determine based upon further LEED analysis. **(1-2) Points**

Categories where qualification is not possible:

C) Categories that cannot comply with proposed scope Note: list below assumes all prerequisites will be met.

- 1) Bicycle Facilities : Project scope is not including separate shower/ changing facilities **(1) Point**
- 2) Reduced parking footprint: Tenant required parking is above requirements of this section **(1) Point**
- 3) Green Vehicles: No charging stations or future infrastructure of charging stations proposed. **(1) Point**
- 4) Rainwater management: No modification of existing site drainage proposed **(3) Points**
- 5) Heat Island reduction: No modification of existing paved areas proposed **(2) Points**
- 6) Light Pollution reduction: Existing fixtures to be reused, will not meet light trespass requirements **(1) Point**
- 7) Tenant Design and Construction Guidelines: Lease has been signed **(1) Point**
- 8) Indoor water use reduction: 25% min proposed **(5) Points**
- 9) Cooling Tower use: No Cooling tower proposed **(2) Points**
- 10) Renewable energy production: No renewable energy production equipment proposed **(2) Points**
- 11) Enhanced refrigerant management: No refrigerant proposed in roof top unit **(1) Point**
- 12) Quality views: Proposed fenestration and tenant program requirements will not allow min required of street exposure. **(1) Point**

I hope the above narrative provides details for the attached scorecard, if you have any other questions please do not hesitate to contact me. Thank you.

Very truly yours,



Douglas S. Grunert
Senior Project Manager
DSG/sep



LEED v4 for BD+C: Core and Shell

Project Checklist

Project Name: Citizens Bank Core & Shell Arlington, MA
Date: 3/8/2021

Y ? N

Y	1	Credit	Integrative Process	1
---	---	--------	---------------------	---

13	3	4	Location and Transportation	20
Y			Credit LEED for Neighborhood Development Location	20
2			Credit Sensitive Land Protection	2
	3		Credit High Priority Site	3
5		1	Credit Surrounding Density and Diverse Uses	6
6			Credit Access to Quality Transit	6
		1	Credit Bicycle Facilities	1
		1	Credit Reduced Parking Footprint	1
		1	Credit Green Vehicles	1

4	0	7	Sustainable Sites	11
Y			Prereq Construction Activity Pollution Prevention	Required
1			Credit Site Assessment	1
2			Credit Site Development - Protect or Restore Habitat	2
1			Credit Open Space	1
		3	Credit Rainwater Management	3
		2	Credit Heat Island Reduction	2
		1	Credit Light Pollution Reduction	1
		1	Credit Tenant Design and Construction Guidelines	1

4	0	7	Water Efficiency	11
Y			Prereq Outdoor Water Use Reduction	Required
Y			Prereq Indoor Water Use Reduction	Required
Y			Prereq Building-Level Water Metering	Required
2			Credit Outdoor Water Use Reduction	2
1		5	Credit Indoor Water Use Reduction	6
		2	Credit Cooling Tower Water Use	2
1			Credit Water Metering	1

3	26	4	Energy and Atmosphere	33
Y			Prereq Fundamental Commissioning and Verification	Required
Y			Prereq Minimum Energy Performance	Required
Y			Prereq Building-Level Energy Metering	Required
Y			Prereq Fundamental Refrigerant Management	Required
3	3		Credit Enhanced Commissioning2	6
	18		Credit Optimize Energy Performance	18
	1		Credit Advanced Energy Metering	1
	2		Credit Demand Response	2
	3		Credit Renewable Energy Production	3
	1		Credit Enhanced Refrigerant Management	1
	2		Credit Green Power and Carbon Offsets	2

2	12	0	Materials and Resources	14
Y			Prereq Storage and Collection of Recyclables	Required
Y			Prereq Construction and Demolition Waste Management Planning	Required
	6		Credit Building Life-Cycle Impact Reduction	6
	2		Credit Building Product Disclosure and Optimization - Environmental Product Declarations	2
	2		Credit Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
	2		Credit Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit Construction and Demolition Waste Management	2

3	3	4	Indoor Environmental Quality	10
Y			Prereq Minimum Indoor Air Quality Performance	Required
Y			Prereq Environmental Tobacco Smoke Control	Required
1		1	Credit Enhanced Indoor Air Quality Strategies	2
	3		Credit Low-Emitting Materials	3
1			Credit Construction Indoor Air Quality Management Plan	1
1		2	Credit Daylight	3
		1	Credit Quality Views	1

1	5	0	Innovation	6
	5		Credit Innovation	5
1			Credit LEED Accredited Professional	1

0	4	0	Regional Priority	4
	1		Credit Regional Priority: Specific Credit	1
	1		Credit Regional Priority: Specific Credit	1
	1		Credit Regional Priority: Specific Credit	1
	1		Credit Regional Priority: Specific Credit	1

30	54	26	TOTALS	Possible Points: 110
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110				



Town of Arlington, Massachusetts
Department of Planning & Community Development
730 Massachusetts Avenue, Arlington, Massachusetts 02476

Public Hearing Memorandum

The purpose of this memorandum is to provide the Arlington Redevelopment Board and public with technical information and a planning analysis to assist with the regulatory decision-making process.

To: Arlington Redevelopment Board

From: Jennifer Raitt, Secretary Ex Officio

Subject: Environmental Design Review, 1416-1420 Massachusetts Avenue, Arlington, MA
Docket #3646

Date: February 17, 2021

I. Docket Summary

This is an application by 1420 Massachusetts Avenue, LLC, c/o Bierbrier Development, 420 Bedford Street, Lexington, MA, to reconstruct the Citizens Bank and make other site improvements at 1416-1420 Massachusetts Avenue, Arlington, MA in the B4 Vehicular Oriented Business District. The opening of the Special Permit is to allow the Board to review and approve the development under Section 3.4, Environmental Design Review, and Section 6.2, Signs.

Materials submitted for consideration of this application:

- Application for EDR Special Permit;
- Proposed Site Plan Documents, prepared by Bohler Engineering, dated January 21, 2021;
- Conceptual Elevations, prepared by BKA Architects, dated January 20, 2021;
- Drainage Memorandum, prepared by Bohler Engineering, dated January 21, 2021;
- Sign Submittal Package, prepared by AGI, revised January 14, 2021.

II. Application of Special Permit Criteria (Arlington Zoning Bylaw, Section 3.3)

1. Section 3.3.3.A.

The use requested is listed as a Special Permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.

A bank with more than 2,000 square feet of gross floor area with drive-up banking services requires a special permit. A bank has operated at this location since 1977. The Board can find that this condition is met.

2. Section 3.3.3.B.

The requested use is essential or desirable to the public convenience or welfare.

The banking use is essential and desirable for the public convenience and welfare. The continuation of the use and the upgrades to the building and site are in the public's interest. The Board can find this condition is met.

3. Section 3.3.3.C.

The requested use will not create undue traffic congestion or unduly impair pedestrian safety.

The existing traffic and circulation patterns at the site will remain the same. The fifteen off-street parking spaces will be retained. Pedestrian safety will be improved through the creation of an ADA compliant pathway from the sidewalk to the bank entrance. The plaza at the edge of the sidewalk is inviting and provides space for pedestrians to rest. The Board can find this condition is met.

4. Section 3.3.3.D.

The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare.

A bank has operated in this location since the 1970s and will not overload any municipal systems. There is a decrease in impervious surfaces associated with the reconstruction of the Citizens Bank. Currently, most stormwater water flows into the municipal system. The new design will detain roof runoff onsite to the south of the building. The Board can find this condition met.

5. Section 3.3.3.E.

Any special regulations for the use as may be provided in the Bylaw are fulfilled.

There are no special regulations for this particular use. The Board can find this condition met.

6. Section 3.3.3.F.

The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The continuation of the bank use, a use that has existed onsite since the late 1970s, will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health and welfare. The Board can find this condition is met.

7. Section 3.3.3.G.

The requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.

The use will not be in excess or detrimental to the character of the neighborhood. The Board can find this condition is met.

III. Environmental Design Review Standards (Arlington Zoning Bylaw, Section 3.4)

1. EDR-1 Preservation of Landscape

The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

The existing site condition is developed. The landscaping around the perimeter of the site will remain in its current state. With the reconstruction of the building, new landscaping will be installed around the new building and down to the sidewalk. The Board can find this condition met.

2. EDR-2 Relation of the Building to the Environment

Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of the existing buildings in the vicinity that have functional or visible relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing so as to reduce the effect of shadows on the abutting property in an R0, R1 or R2 district or on public open space.

The building will be reconstructed in general the same location as the existing building. The proposed one-story building provides some visual interest with the over-height entrance, but the long façade facing Massachusetts Avenue may not be an improvement from the pedestrian-oriented entrance of the existing bank building. The addition of the plaza at the sidewalk will be an asset to the Arlington Heights business district, provides seating and bicycle parking, and provides a connection between the front door of the bank and the public sidewalk.

3. EDR-3 Open Space

All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing by the site or overlooking it from nearby properties. The location and configuration of usable open

space shall be so designed as to encourage social interaction, maximize its utility and facilitate maintenance.

The landscaped open space requirement is 10% for this permitted use. The amount of landscaped open space will increase from 23% to 28% with the proposed reconstruction of the building. The Board can find that this condition is met.

4. EDR-4 Circulation

With respect to vehicular and pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 6.1.12 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.

The existing 15 parking spaces will be retained onsite. The existing building at 4,366 square feet required 15 parking spaces, but the new building at 2,400 square feet only requires 8 parking spaces. The bank should consider further reducing the amount of impervious surfaces on the site by eliminating some of the parking, especially due to the availability of on-street parking on Massachusetts Avenue in the business district.

The circulation on the site remains the same, and the elimination of the canopy and islands will eliminate any potential for property damage. The circulation is set 10 feet off of the rear property line and a series of retaining walls negotiate the slope between the property and the residential properties located in the R2 District to the north of the site. Section 5.3.21 requires that there be a 15-foot buffer. Due to the space on the site to the rear of the building and the additional parking spaces that may not be necessary, there may be the ability to provide a buffer in compliance with this section of the Zoning Bylaw.

The site plans indicate that there will be two short-term bicycle parking spaces located off of the plaza at the sidewalk, in compliance with the requirements for short-term bicycle parking. Additionally, the style of bike rack shown in the application materials is discouraged by the Bicycle Parking Guidelines. The applicant should review those Guidelines and select a different type of bike rack. Further, the application materials do not address the compliance with the long-term bicycle parking at the site. At least one long-term bicycle parking space needs to be provided.

5. EDR-5 Surface Water Drainage

Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce

clearing and re-grading. Best Management Practices may include erosion control and stormwater treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Stormwater should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected in intervals so that it will not obstruct the flow of vehicular or pedestrian traffic and will not create puddles in the paved areas. In accordance with Section 3.3.4., the Board may require from any Applicant, after consultation with the Director of Public Works, security satisfactory to the Board to ensure the maintenance of all stormwater facilities such as catch basins, leaching catch basins, detention basins, swales, etc. within the site. The Board may use funds provided by such security to conduct maintenance that the Applicant fails to do. The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for any future maintenance needs.

A Drainage Memorandum has been prepared for the proposed redevelopment of this site. It does indicate that there is an improvement to runoff rates and volume from the site due to the decrease in impervious surfaces. The existing system will remain in place, although some roof runoff will be directed to landscaped areas on site. The Board can find this condition is met.

6. EDR-6 Utilities Service

Electric, telephone, cable TV, and other such lines of equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.

Existing utilities will be reused and upgraded as necessary. The Board can find this condition is met.

7. EDR-7 Advertising Features

The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties.

The applicant submitted an updated sign package with a number of signs proposed:

1. The existing monument sign will be refaced in compliance with Section 6.2;
2. Two identical wall signs located at either corner of the main entrance of the building measuring 15.625 square feet each;
3. A large Citizens Bank logo on the Massachusetts Avenue windows;
4. Citizens Bank signage on the main entrance doors; and
5. The hours of operation and other information noted on the entrance door is exempt.

The updated signage package removed the wall sign on the drive thru elevation as it was identified as being in excess of the signage allowed by Section 6.2.

The large window logo facing Massachusetts Avenue provides some visual interest and may obscure views looking into the building, but no information is provided to document the size of the logo. The signage on the doors is compliant with Section 6.2.

8. EDR-8 Special Features

Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.

There are no such special features proposed for the site. The Board can find this condition is met.

9. EDR-9 Safety

With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.

As noted in the application materials, security of the bank building was taken into consideration regarding the placement of landscaping around the building and the location of windows. The Board can find this condition is met.

10. EDR-10 Heritage

With respect to Arlington's heritage, removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practical whether these exist on the site or on adjacent properties.

The existing structure is not listed on the *Inventory of Historically or Architecturally Significant Properties in the Town of Arlington* nor is it under the jurisdiction of the Arlington Historical Commission. As such, the site contains no historic, traditional or significant uses, structures or architectural elements. The Board can find that this condition is met.

11. EDR-11 Microclimate

With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard surface, ground coverage or the installation of machinery which emits heat, vapor or fumes shall endeavor to

minimize insofar as practicable, any adverse impacts on light, air and water resources or on noise and temperature levels of the immediate environment.

There are no proposed changes that will impact the microclimate. The Board can find that this condition is met.

12. EDR-12 Sustainable Building and Site Design

Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project.

The application materials indicate that the building will meet existing energy codes and will include low-flow plumbing fixtures and efficient appliances. A LEED Checklist was provided and indicates that the project would receive a low level of certification.

IV. Findings

1. The ARB finds that the project is consistent with Environmental Design Review per Section 3.4 of the Zoning Bylaw.

V. Conditions

General

1. The final design, sign, exterior material, landscaping, and lighting plans shall be subject to the approval of the Arlington Redevelopment Board at the time when future operators are identified. Any substantial or material deviation during construction from the approved plans and specifications is subject to the written approval of the Arlington Redevelopment Board
2. Any substantial or material deviation during construction from the approved plans and specifications is subject to the written approval of the Arlington Redevelopment Board.
3. The Board maintains continuing jurisdiction over this permit and may, after a duly advertised public hearing, attach other conditions or modify these conditions as it deems appropriate in order to protect the public interest and welfare.
4. Snow removal from all parts of the site, as well as from any abutting public sidewalks, shall be the responsibility of the owner and shall be accomplished in accordance with Town Bylaws.

5. Trash shall be picked up only on Monday through Friday between the hours of 7:00 am and 6:00 pm. All exterior trash and storage areas on the property, if any, shall be properly screened and maintained in accordance with the Town Bylaws.
6. Upon installation of landscaping materials and other site improvements, the owner shall remain responsible for such materials and improvement and shall replace and repair as necessary to remain in compliance with the approved site plan.
7. Upon the issuance of the building permit the Applicant shall file with the Inspectional Services Department and the Police Department the names and telephone numbers of contact personnel who may be reached 24 hours each day during the construction period.

January 22, 2021

Via hand delivery

Arlington Redevelopment Board
720 Massachusetts Avenue
Arlington, MA 02476

Attn: Erin Zwirko, Assistant Director, Department of Planning and Community Development

**RE: Special Permit Application
Citizens Bank Redevelopment
1420 Massachusetts Avenue
Arlington, MA 02476
Map #173, Block #2 & Lot #4.A**

Dear Ms. Zwirko:

On behalf of 1420 Massachusetts Avenue, LLC c/o Bierbrier Development Inc., please find the below enclosed items as part of the Special Permit Application for the proposed Citizens Bank redevelopment at 1420 Massachusetts Avenue. Please note that electronic copies of the below will be submitted under a separate cover.

- Two (2) copies of the Completed and signed Application for Special Permit In Accordance with Environmental Design Review Procedures with attached narrative and site photos;
- Two (2) full size (24"x36") copies of the Proposed Preliminary Site Plan Documents prepared by Bohler dated January 21, 2021;
- Two (2) full size (24"x36") copies of the Architectural Elevations prepared by BKA Architects dated January 20, 2021;
- Two (2) copies of the Drainage Memorandum prepared by Bohler dated January 21, 2021;
- Two (2) copies of the Sign Submittal Package prepared by AGI dated January 12, 2021;
- Check for \$980 made payable to the Town of Arlington (check #1065)

We look forward to discussing with the Redevelopment Board during their upcoming meeting on February 22, 2021. Please do not hesitate to contact me at 508-480-9900 should you have any questions or require any additional information regarding this submission.

Sincerely,

BOHLER



Nick Dewhurst



Randy Miron

CC: Tom Godfrey, Granite Development, LLC (via email)



TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Application for Special Permit In Accordance with Environmental Design
Review Procedures (Section 3.4 of the Zoning Bylaw)

- Docket No. _____
- Property Address 1416-1420 Mass. Avenue
Name of Record Owner(s) 1420 Mass. Avenue, LLC Phone 781-258-1199
Address of Owner c/o Bierbrier Dev. 420 Bedford St. Lexington, MA
Street City, State, Zip 02420
 - Name of Applicant(s) (if different than above) same
Address _____ Phone _____
Status Relative to Property (occupant, purchaser, etc.) _____
 - Location of Property Map # 173, Block # 2, Lot # 4.A
Assessor's Block Plan, Block, Lot No.
 - Deed recorded in the Registry of deeds, Book 67758, Page 251;
-or- registered in Land Registration Office, Cert. No. _____, in Book _____, Page _____
 - Present Use of Property (include # of dwelling units, if any) Bank with drive-up
 - Proposed Use of Property (include # of dwelling units, if any) Bank with drive-up
 - Permit applied for in accordance with 5.5.3 Use Regulations for Business
the following Zoning Bylaw section(s) Districts
section(s) title(s)
 - Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request. Include any reasons that you feel you should be granted the requested permission.
Attached

(In the statement below, strike out the words that do not apply)
The applicant states that 1420 Mass. Ave., LLC is the owner -or- occupant -or- purchaser under agreement of the property in Arlington located at 1416-1420 Mass. Avenue which is the subject of this application; and that unfavorable action -or- no unfavorable action has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years. The applicant expressly agrees to comply with any and all conditions and qualifications imposed upon this permission, either by the Zoning Bylaw or by the Redevelopment Board, should the permit be granted.

Signature of Applicant(s)

c/o Bierbrier Development
Address 420 Bedford St.
Lexington, MA 02420

781-863-1800 or
Phone 781-258-1199



Town of Arlington Redevelopment Board
Application for Special Permit in accordance with
Environmental Design Review (Section 3.4)

Required Submittals Checklist

Two full sets of materials and one electronic copy are required. A model may be requested. Review the ARB's Rules and Regulations, which can be found at arlingtonma.gov/arb, for the full list of required submittals.

- ☒ Dimensional and Parking Information Form (see attached)
- ☒ Site plan of proposal
- ☒ Model, if required
- ☒ Drawing of existing conditions
- ☒ Drawing of proposed structure
- ☒ Proposed landscaping. May be incorporated into site plan
- ☒ Photographs
- ☒ Impact statement
- ☒ Application and plans for sign permits
- ☒ Stormwater management plan (for stormwater management during construction for projects with new construction)

FOR OFFICE USE ONLY

_____ Special Permit Granted	Date: _____
_____ Received evidence of filing with Registry of Deeds	Date: _____
_____ Notified Building Inspector of Special Permit filing	Date: _____

TOWN OF ARLINGTON REDEVELOPMENT BOARD

Petition for Special Permit under Environmental Design Review (see Section 3.4 of the Arlington Zoning Bylaw for Applicability)

For projects subject to Environmental Design Review, (see Section 3.4), please submit a statement that completely describes your proposal, and addresses each of the following standards.

1. **Preservation of Landscape.** The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.
2. **Relation of Buildings to Environment.** Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of existing buildings in the vicinity that have functional or visual relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing to reduce the effect of shadows on abutting property in an R0, R1 or R2 district or on public open space.
3. **Open Space.** All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.
4. **Circulation.** With respect to vehicular, pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 8.13 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.
5. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and storm water treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Storm water should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, and will not create puddles in the paved areas.

In accordance with Section 3.3.4, the Board may require from any applicant, after consultation with the Director of Public Works, security satisfactory to the Board to insure the maintenance of all storm water facilities such as catch basins, leaching catch basins, detention basins, swales, etc. within the site. The Board may use funds provided by such security to conduct maintenance that the applicant fails to do. The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for the future maintenance needs.

6. **Utility Service.** Electric, telephone, cable TV and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.
7. **Advertising Features.** The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties. Advertising features are subject to the provisions of Section 6.2 of the Zoning Bylaw.

8. **Special Features.** Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.
9. **Safety.** With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.
10. **Heritage.** With respect to Arlington's heritage, removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties.
11. **Microclimate.** With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard-surface ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment.
12. **Sustainable Building and Site Design.** Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project. [LEED checklists can be found at <http://www.usgbc.org/DisplayPage.aspx?CMSPageID=220b>]

In addition, projects subject to Environmental Design Review must address and meet the following Special Permit Criteria (see Section 3.3.3 of the Zoning Bylaw):

1. The use requested is listed as a special permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.
2. The requested use is essential or desirable to the public convenience or welfare.
3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.
4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.
5. Any special regulations for the use as may be provided in this Bylaw are fulfilled.
6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
7. The requested use will not, by its addition to a neighborhood, cause an excess of the particular use that could be detrimental to the character of said neighborhood.

TOWN OF ARLINGTON
Dimensional and Parking Information
for Application to
The Arlington Redevelopment Board

Docket No. _____

Property Location 1416-1420 Mass. Ave.

Zoning District B4

Owner: 1420 Mass. Ave., LLC

Address: c/o Bierbrier Development,
420 Bedford St., Lexington, MA
Uses and their gross square feet: 02420.

Present Use/Occupancy: No. of Dwelling Units:

Bank with drive-up

4,366 s.f.

Proposed Use/Occupancy: No. of Dwelling Units:

Bank with drive-up

Uses and their gross square feet:

2,400 s.f.

	Present Conditions	Proposed Conditions	Min. or Max. Required by Zoning for Proposed Use
Lot Size	19,727 sf	no change	min. none
Frontage	158.3'	no change	min. 50'
Floor Area Ratio	.18	.12	max. 1.0
Lot Coverage (%), where applicable	9.2%	12.2%	max. —
Lot Area per Dwelling Unit (square feet)	=	—	min. —
Front Yard Depth (feet)	19.7'	16.3'	min. 0
Side Yard Width (feet)			
right side	78.4'	73.0'	min. 0
left side	35.4'	30.4'	min. 10'
Rear Yard Depth (feet)	51.4'	51.3'	min. 10'
Height	—		min.
Stories	1 w/ basement	1	stories 3
Feet	17.6'	20'	feet 35'
Open Space (% of G.F.A.)	23.1%	28.0%	min. 10%
Landscaped (square feet)	4,557 sf	5,524 sf	(s.f.)
Usable (square feet)	4,557 sf	5,524 sf	(s.f.)
Parking Spaces (No.)	15	15	min. 8
Parking Area Setbacks (feet), where applicable	—		min.
Loading Spaces (No.)	—		min.
Type of Construction	—		
Distance to Nearest Building	35.4	30.4	min.

**Application for Special Permit
Citizens Bank Redevelopment
1416-1420 Mass Ave, Arlington**

The property consists of a 19,727 s.f. lot in the B4 Vehicular Oriented Business District.

A Citizens Bank currently occupies the property and a bank use with drive-up has existed on the property since the 1970s pursuant to a 1977 Special Permit. The property also benefits from a 1983 special permit related to signage.

Citizens Bank recently signed a new lease and received federal/state approval to build a new bank branch on the property and close temporarily while the new building is constructed.

The current footprint (building and canopies) totals 2,552 sf and the current building totals 4,236 sf (gross) including a 1,814 sf of basement.

The proposed building is designed as a single story 2,400 sf building in the same location as exists today.

The property and proposed building comply with all dimensional requirements of the B4 Vehicular Oriented Business Zoning District.

The project goals are to upgrade Citizens building with the least impact possible while reducing building size, footprint size and impervious area (increasing open space).

The project involves demolishing the existing building and reconstructing a new, modern energy efficient building in the same location.

The project preserves the perimeter of the site in the same condition that exists today with a limit of work that follows the outer curb line of the parking area. The area around the building will receive new landscaping and a pocket park will be constructed between the building and Mass Ave. A new ADA compliant access way from the sidewalk on Mass Ave to the building will be constructed replacing the existing noncompliant walkway, as well as new ADA compliant parking spaces.

The parking area will be repaved with same number of parking spaces in the same location that exist today. The vehicle entrances and traffic flow will remain the same, with some improvements to striping and signage.

Special Permit Design Review Standards:

Preservation of Landscape – There are no changes to the landscape around the perimeter of the property. New landscaping will be incorporated around the building and a pocket park will be created between the building and Mass Ave.

Relation of Building to the Environment – The building will be reconstructed in the same location as it exists today. The gross square footage of the building, will be reduced from approximately 4,366 sf to

2,400 sf. A pocket park is incorporated into the design to increase connectivity with pedestrians and provide seating and bike parking.

Open Space – Open space will be increased by the removal of pavement thereby decreasing the amount of impervious that exists onsite.

Circulation - The existing traffic patterns and parking will not change. Pedestrian safety will be enhanced by providing an ADA compliant access way from the sidewalk on Mass Ave to the building. A pocket park with bike parking and seating will be created between the building and Mass Ave.

Surface Water Drainage - The existing stormwater system will remain in place. Stormwater runoff rates and volumes generated from the site will be improved when compared to the existing condition due to the decrease in impervious areas. A further breakdown of the stormwater improvements is outlined within the Drainage Memorandum prepared by Bohler.

Utility Service - Existing utilities will be upgraded and reused.

Advertising Features – Site signage (existing free standing sign and directional sign) will remain. Updated building signage is detailed on the sign submittal package.

Special Features - There are no known special regulations applicable to the proposed use.

Safety - The proposed building is designed with two (2) egress doors to facilitate building evacuation and maximizing accessibility for emergency services. Special safety consideration has been incorporated into the landscaping around the building and placement of windows.

Heritage – There are no known historic features on the site.

Microclimate - A landscaped depression will be constructed to accept the stormwater generated by the roof of the building to allow for infiltration and detention and to reduce stormwater runoff rates. In addition, the amount of open space onsite will be increased.

Sustainable Building and Site Design - The proposed building will meet or exceed current building and energy codes and will include roof and wall insulation with high R-values and energy efficient windows. The building will incorporate low-flow plumbing fixtures and efficient appliances.

Criteria for Environmental Design Review:

1. Use – The proposed use is a bank with drive-up, greater than 2,000 s.f. which is listed in the use regulations section 5.5.3 as an allowed special permit use under zoning district B4 Vehicular Oriented Business District. The property received a special permit in 1997 to allow for a bank with drive-up and has operated as bank since.
2. Desirable and Public Convenience – The existing and proposed bank use is an essential and desirable public convenience to the Arlington Heights neighborhood and has been serving the community as a bank since the 1970s.

3. Traffic Pedestrian Safety – The existing traffic patterns and parking will remain the same. Pedestrian safety will be enhanced by providing an ADA compliant access way from the sidewalk on Mass Ave to the building. A pocket park with bike rack and seating will be created between the building and Mass Ave.
4. Utilities – Existing utilities will be upgraded if necessary and reused. A landscaped depression will be constructed to accept the stormwater generated by the roof of the building to allow for infiltration and detention to reduce stormwater runoff. In addition, the amount of open space onsite will be increased.
5. Special Regulations - There are no known special regulations applicable to the proposed use.
6. Character Neighborhood – The use is proposed to be a continuation of the same use that has operated on the property since the 1970s. The architectural intent and materials have been designed to complement the existing buildings and character of the neighborhood.
7. The proposed use will not be in excess or detriment to the character of the neighborhood and will be a continuation of a convenience use for the benefit of the neighborhood.





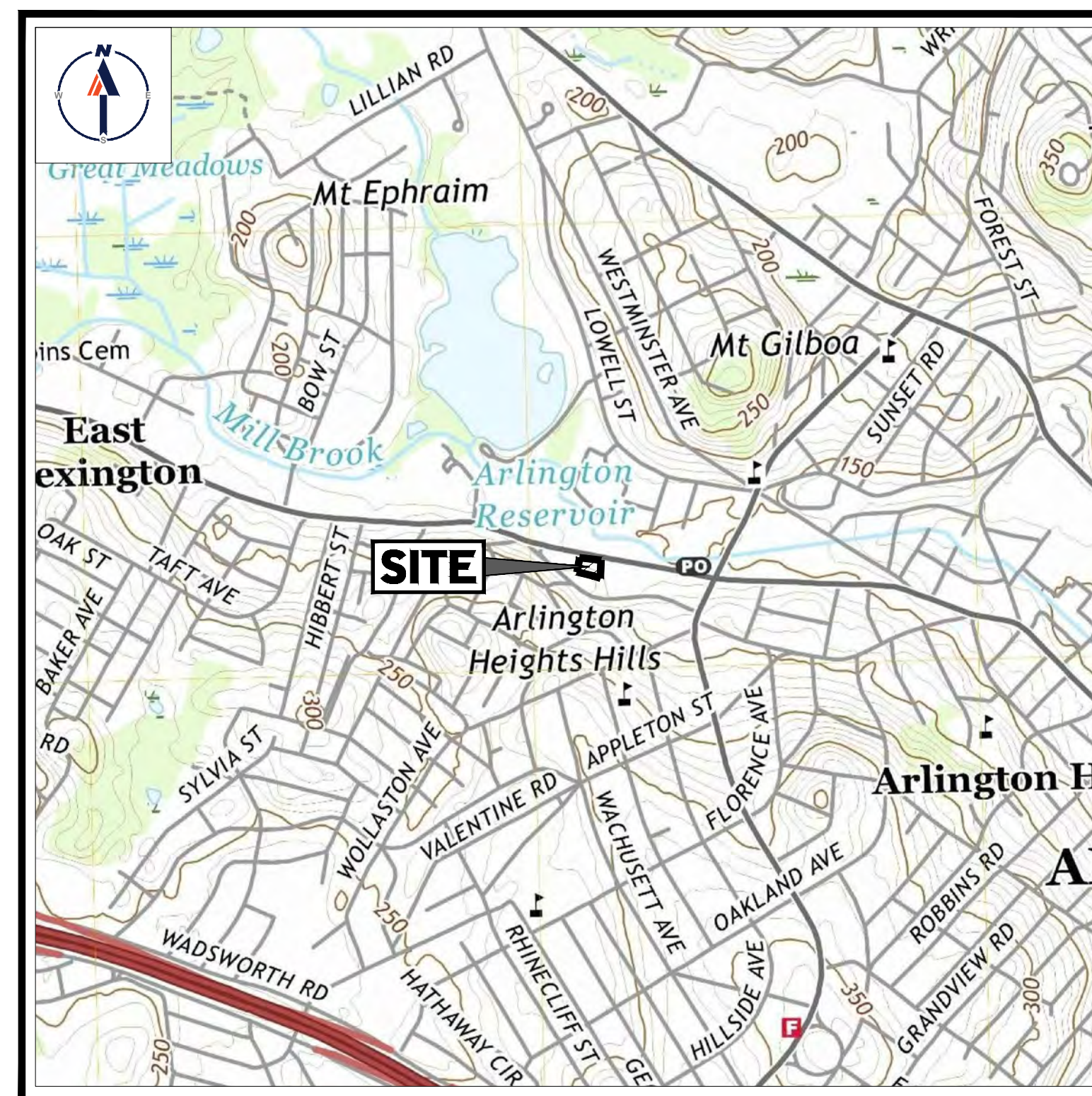
FOR

**1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.**

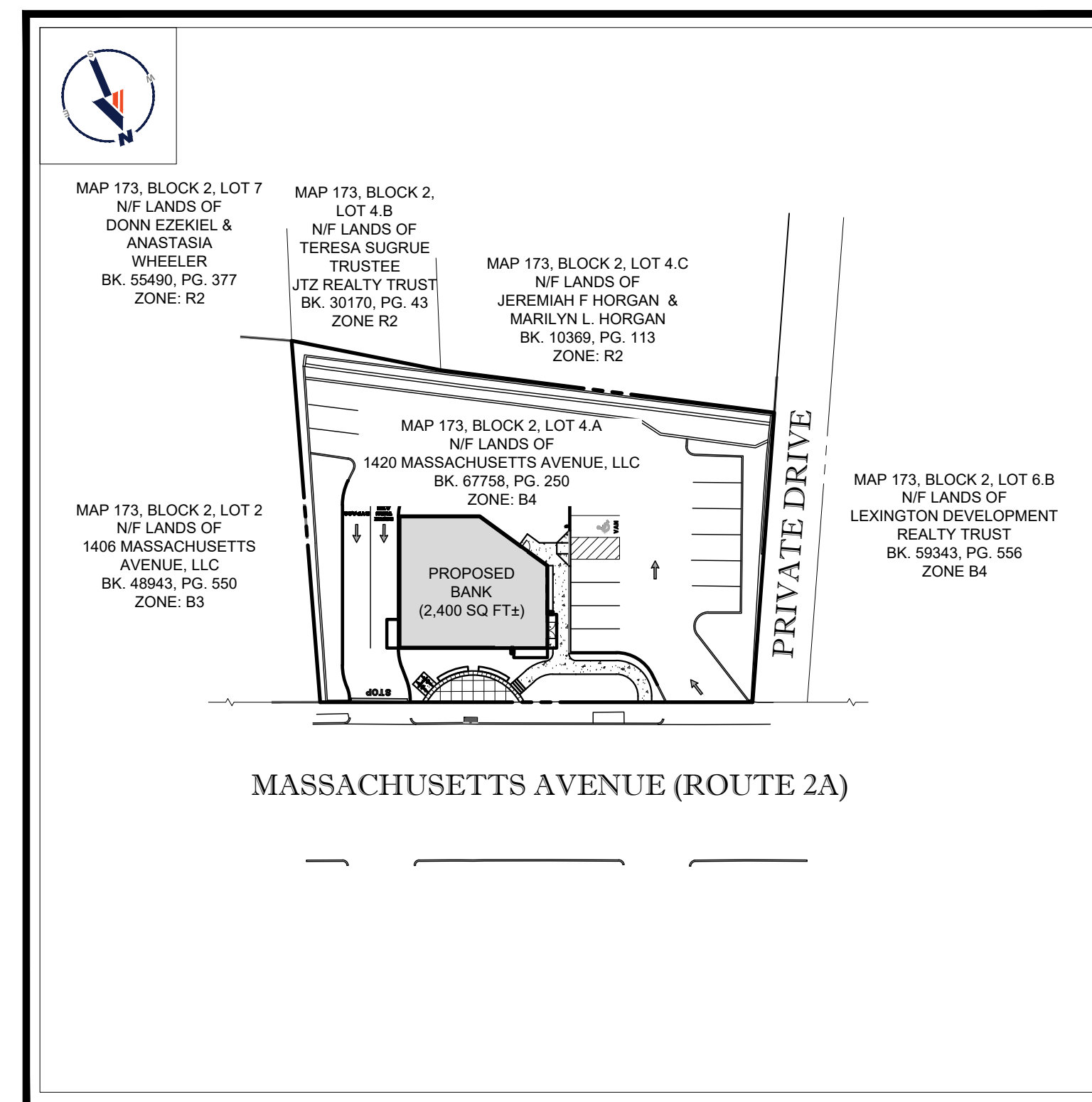
PROPOSED

CITIZENS BANK REDEVELOPMENT

LOCATION OF SITE:



SCALE: 1" = 1,000'
SOURCE: LEXINGTON MASSACHUSETTS USGS QUADRANGLE



SCALE: 1" = 50'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING AND DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES AND DETAILS	C-702
DETAIL SHEET	C-901
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 SHEET

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING

- LAND SURVEYING
- PROGRAM MANAGEMENT
- LANDSCAPE ARCHITECTURE
- SUSTAINABLE DESIGN
- PERMITTING SERVICES
- TRANSPORTATION SERVICES

[illegible]

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ALWAYS CALL 811
It's fast. It's free. It's the law.

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VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	W161132
RAWN BY:	CFD/NPD
CHECKED BY:	RMM
DATE:	01/21/2021
AD I.D.:	W161132-TTB-0_24X36

PROPOSED SITE
PLAN DOCUMENTS

FOR
420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

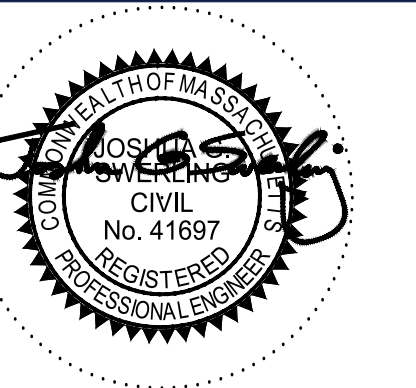
**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

BOHLER//

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com



RG. DATE - #####



MAP 173, BLOCK 2, LOT 7
N/F LANDS OF
DONN EZEKIEL & ANASTASIA
WHEELER
BK. 55490, PG. 377
ZONE: R2

MAP 173, BLOCK 2, LOT 4.B
N/F LANDS OF
TERESA SUGRUE TRUSTEE
JTZ REALTY TRUST
BK. 30170, PG. 43
ZONE: R2

MAP 173, BLOCK 2, LOT 4.C
N/F LANDS OF
JEREMIAH F. HORGAN &
MARILYN L. HORGAN
BK. 10369, PG. 113
ZONE: R2

MAP 173, BLOCK 2, LOT 4.A
N/F LANDS OF
1420 MASSACHUSETTS
AVENUE, LLC
BK. 67758, PG. 250
ZONE: B4

MAP 173, BLOCK 2, LOT 6.B
N/F LANDS OF
LEXINGTON DEVELOPMENT
REALTY TRUST
BK. 59343, PG. 556
ZONE: B4

MAP 173, BLOCK 2, LOT 2
N/F LANDS OF
1406 MASSACHUSETTS AVENUE, LLC
BK. 48943, PG. 550
ZONE: B3

MASSACHUSETTS AVENUE

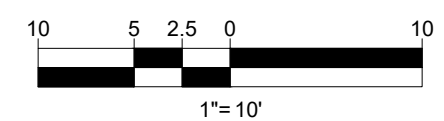
(A.K.A. MASSACHUSETTS STATE ROUTE 2A)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY)

TWO WAY
TRAFFIC

PRIVATE DRIVE
(20' WIDE RIGHT OF WAY)
(OWNERS UNKNOWN)

REFER TO GENERAL NOTES SHEET FOR
DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/ REMOVAL
PURPOSES ONLY



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
305 SOUTHBOROUGH ROAD
SOUTHBOROUGH, MA 01772
PHONE: (508) 480-9900
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REV	DATE	COMMENT	DRAWN BY



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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W161132
DRAWN BY: CDF/DPD
DATE: 01/21/2021
CAD ID: W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

PROPOSED
CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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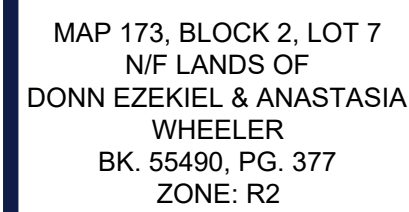
SHEET TITLE:

DEMOLITION
PLAN

SHEET NUMBER:

C-201

ORG. DATE - #####



MAP 173, BLOCK 2, LOT 4.B
N/F LANDS OF
TERESA SUGRUE TRUSTEE
JTZ REALTY TRUST
BK. 30170, PG. 43
ZONE R2

MAP 173, BLOCK 2, LOT 4.C
N/F LANDS OF
JEREMIAH F HORGAN &
MARILYN L. HORGAN
BK. 10369, PG. 113
ZONE: R2

1. **APPLICANT:**
1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.
420 BEDFORD STREET
LEXINGTON, MA 02120
2. **OWNER:**
1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.
420 BEDFORD STREET
LEXINGTON, MA 02120
3. **PARCEL:**
MAP #173, BLOCK #2 & LOT #4 A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY, MA

ZONING DISTRICT		VEHICULAR ORIENTED BUSINESS (B4)		(W) - WAIVER REQUESTED	
OVERLAYING DISTRICT		NONE		(E) - EXIST - NON-CONFORMANCE	
REQUIRED PERMIT		BANK OVER 2,000 SF WITH DRIVE-UP ATM PERMITTED BY SPECIAL PERMIT			
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED		
MIN. LOT AREA	NONE	19,727 SF	NO CHANGE		
MIN. LOT FRONTAGE	50 FT	158.3 FT	NO CHANGE		
MAX. BLDG F.A.R.	1.0	0.18	0.12		
MIN. FRONT SETBACK	0 FT	19.7 FT	16.3 FT		
MIN. SIDE SETBACK	0 FT	10.6 FT	25.9 FT		
MIN. REAR SETBACK	10 FT	51.4 FT	51.3 FT		
MAX. BUILDING HEIGHT	35 FT / 3 STORIES	17.6 FT	20.0 FT		
MIN. OPEN SPACE	10%	23.1%	28.0%		
PARKING SPACES	8	15	NO CHANGE		
ACCESS, PARKING SPACES	1	1	1		
PARKING STALL CRITERIA		USE/CATEGORY: RETAIL OR OTHER SERVICE USE			
STANDARD: 9 FT x 18 FT		REQUIRED PARKING: 1 SPACE PER 300 SF SF			
COMPACT: 8 FT x 16 FT		2,400 / 300 = 8 SPACES REQUIRED			

RETAIL AND SERVICE USE REQUIRES 0.60 SPACES PER 1,000 SF OF GROSS FLOOR AREA

- $2,400 \text{ SF} \times 0.6 / 1,000 = 1.4 \text{ SPACES REQUIRED}$
- 2 SPACES PROVIDED

[illegible]

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PROJECT No.:	W161132
DRAWN BY:	CFD/NPD
CHECKED BY:	RMM
DATE:	01/21/2021
CAD I.D.:	W161132-TTB-0_24X36

FOR
1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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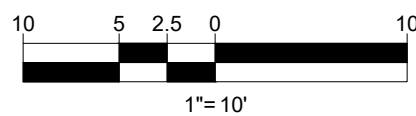
SHEET TITLE:

*SITE
LAYOUT
PLAN*

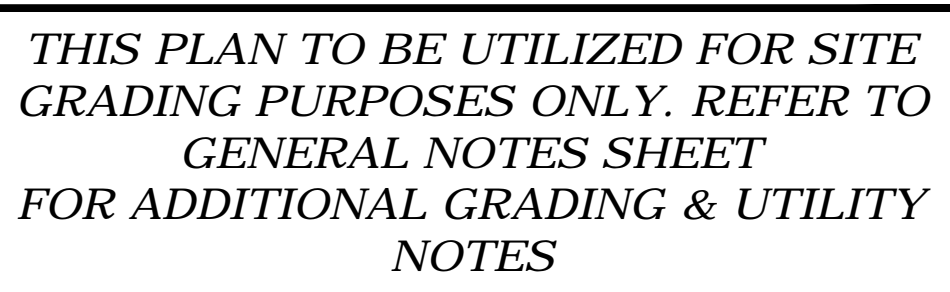
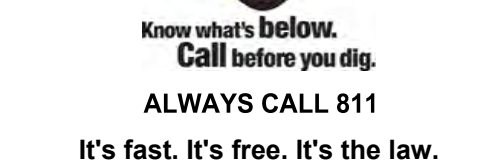
SHEET NUMBER

C-301

ORG. DATE - #####



THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY. REFER TO
GENERAL NOTES
SHEET FOR ADDITIONAL NOTES

[illegible]

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PROJECT No.:	W1611
DRAWN BY:	CFD/NH
CHECKED BY:	RM
DATE:	01/21/20
CAD I.D.:	W161132-TTB-0_24X

PROJECT:

*PROPOSED SITE
PLAN DOCUMENTS*

FOR
1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

BOHLER //

**352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772**
Phone: (508) 480-9900
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SHEET TITLE:

GRADING AND DRAINAGE PLAN

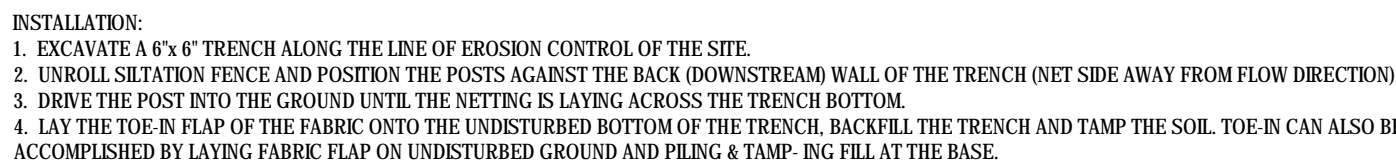
SHEET NUMBER:
C-401

ORG. DATE - #####

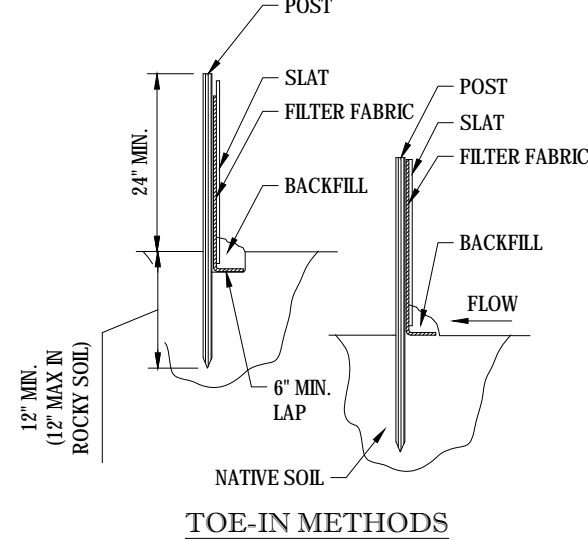


1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE. THE CONTRIBUTING DRAINAGE AREA ABOVE THEM MUST NOT EXCEED 45 DAYS PRIOR TO THE FIRST KILLING FROST. USE TEMPORARY MULCH (GORDMAN SEEDING) MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (GORDMAN SEEDING) MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED UNTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% SODPOD, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PERMANENT TURF MIXTURE OF 44% KENTucky BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF. LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

N.T.S.

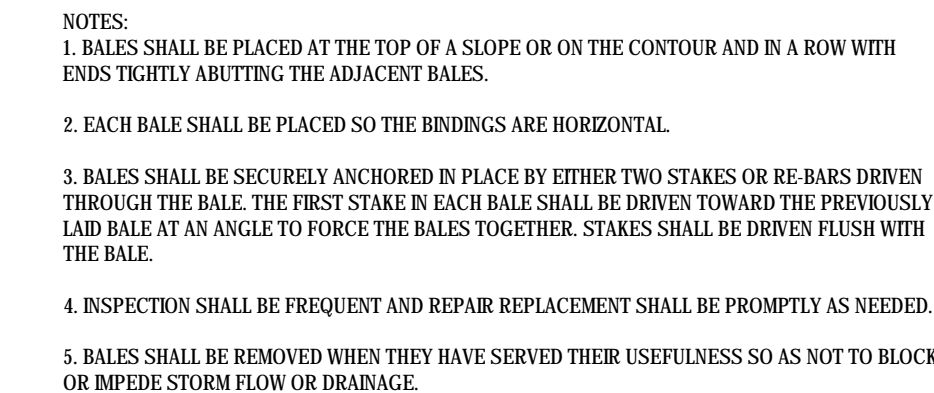
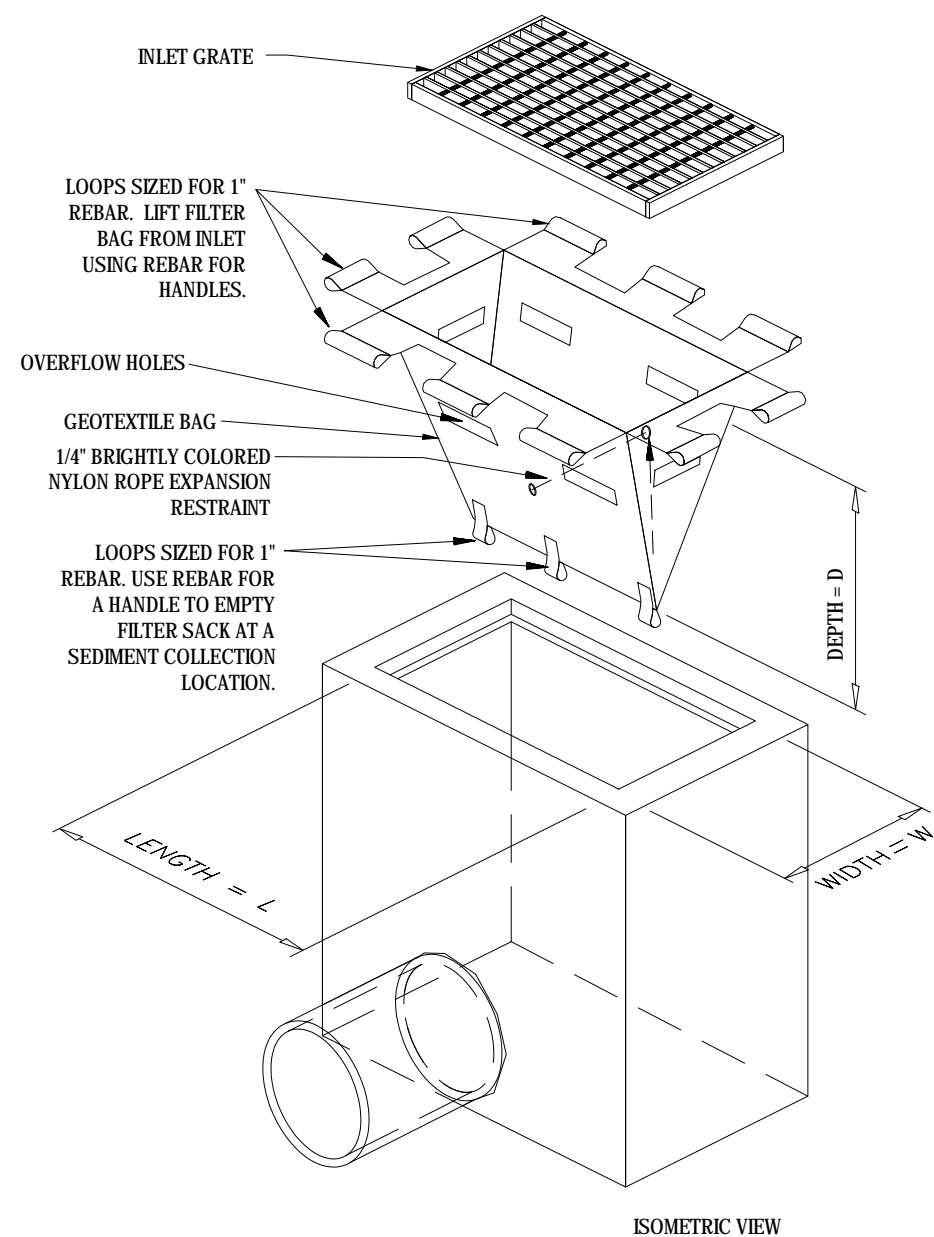


N.T.S.



1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED, DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
 - 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% UNTIL AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

References



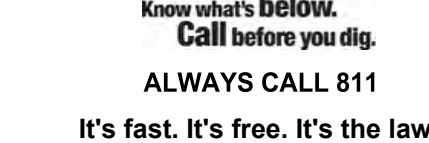
N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	300 PSI
TRAPEZOID TENS	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 HRS
APPROX OPENING SIZE	ASTM D-4751	40 GAUM/MSQ
FLOW RATE	ASTM D-4491	40 GAL/MSQ/FT
PERMITTIVITY	ASTM D-4491	0.5 SEC - 1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TENS	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 HRS
APPROX OPENING SIZE	ASTM D-4751	20 HRS/SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MSQ/FT
PERMITTIVITY	ASTM D-4491	1.5 SEC - 1

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GATED INLET BOX.

111

[illegible]

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PROJECT No.: W161132
DRAWN BY: CFD/NPD
CHECKED BY: RMM
DATE: 01/21/2021
CAD I.D.: W161132-TTB-0_24X36

PROJECT:

FOF

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

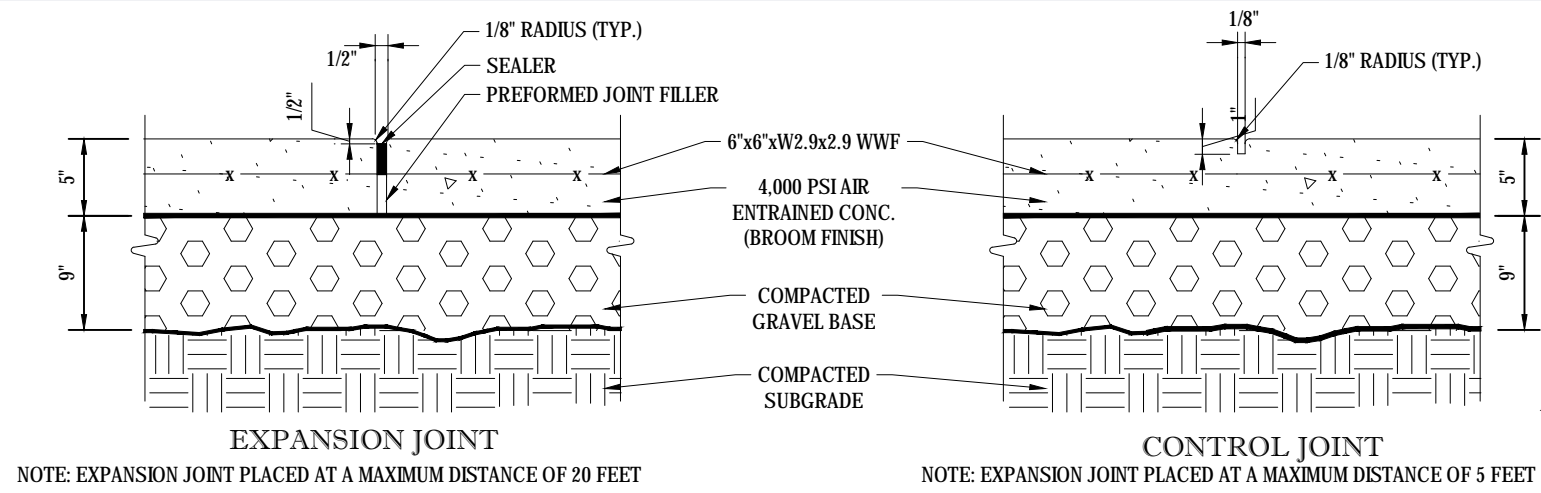
**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**



SHEET NUMBER

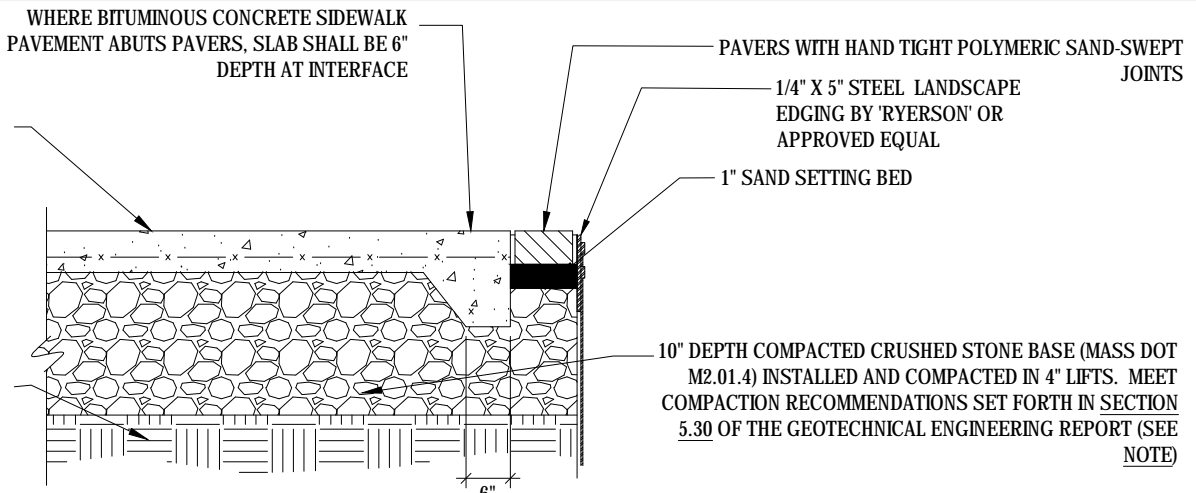
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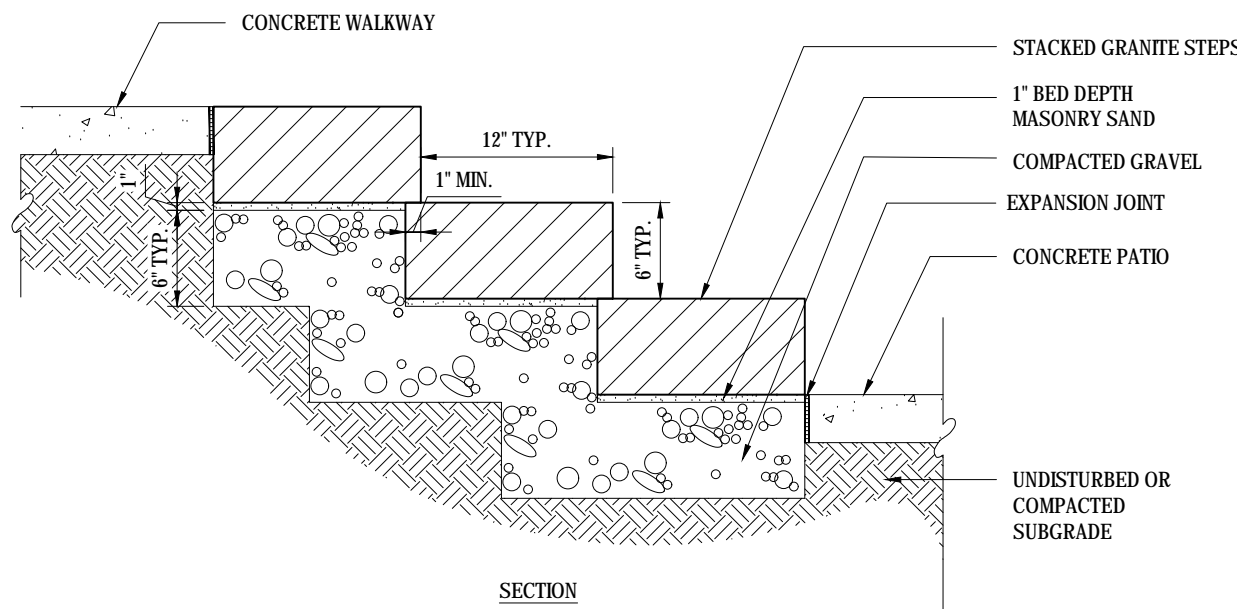
CONCRETE PATIO WITH PAVER
SOLDIER COURSE

N.T.S.



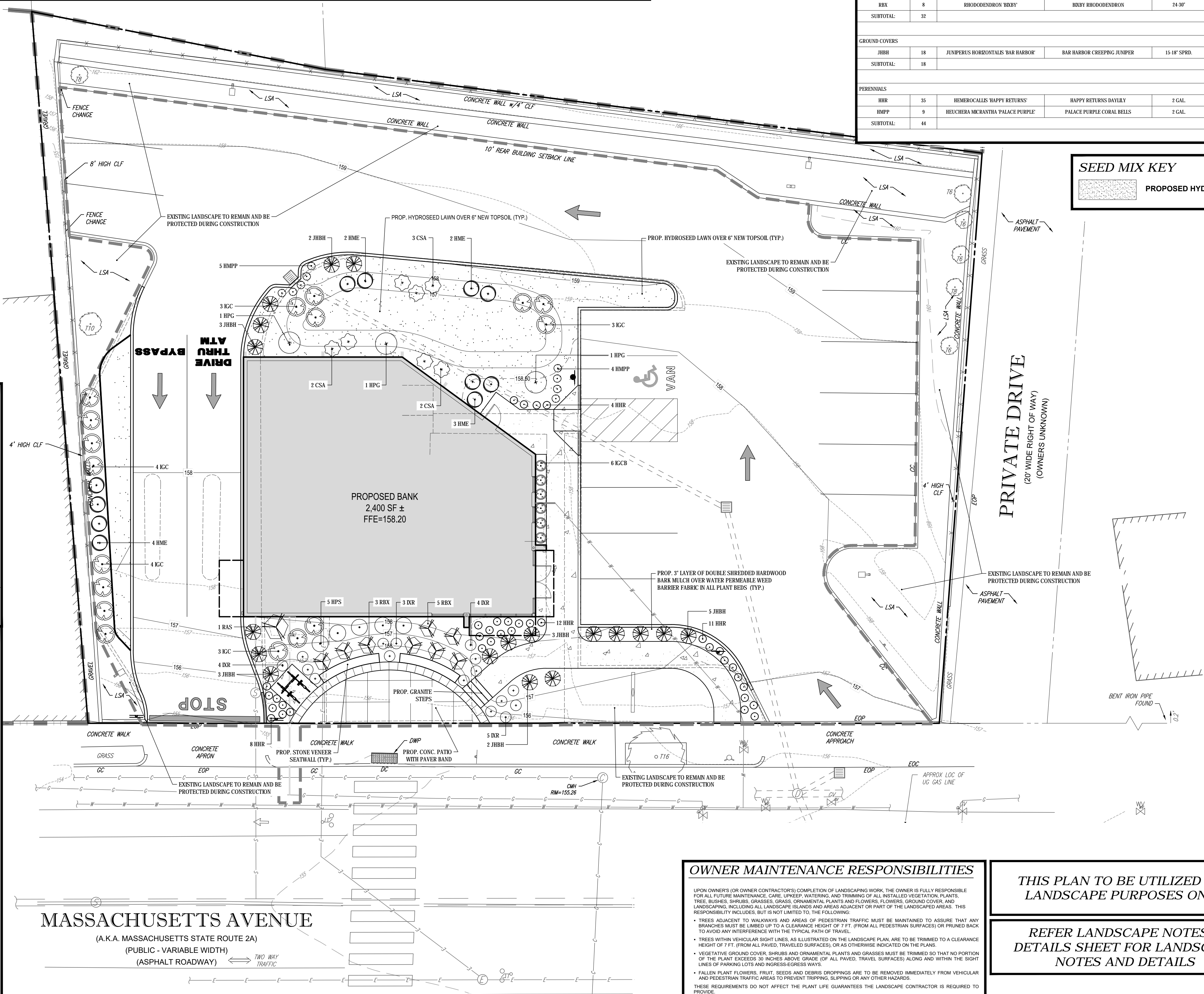
LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
DECIDUOUS SHRUBS					
CSA	7	CORNUS STOLONIFERA 'ARCTIC FIRE'	COMPACT RED TWIG DOGWOOD	18-24"	8-B
HME	11	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	18-24"	CONTAINER
HPG	3	HYDRANGEA PANCULATA 'GRANDIFLORA'	PEE GEE HYDRANGEA	24-30"	CONTAINER
HPS	5	HYPERICUM PATULUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24"	CONTAINER
DR	16	ILEX X VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
SUBTOTAL: 42					
EVERGREEN SHRUBS					
IGC	17	ILEX GLABRA 'COMPACTA'	DWARF KINKERBY HOLLY	24-30"	8-B
IGCB	6	ILEX GLABRA 'GEM BOX'	DWARF KINKERBY HOLLY	18-24"	CONTAINER
RAS	1	RHODODENDRON 'APRI. SNOW'	APRI. SNOW RHODODENDRON	24-30"	CONTAINER
RBX	8	RHODODENDRON 'BIBBY'	BIBBY RHODODENDRON	24-30"	CONTAINER
SUBTOTAL: 32					
GROUND COVERS					
JHH	18	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPED.	CONTAINER
SUBTOTAL: 18					
PERENNIALS					
HHR	35	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER
HMPP	9	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	2 GAL.	CONTAINER
SUBTOTAL: 44					

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GRANITE STEPS

N.T.S.



MASSACHUSETTS AVENUE
(A.K.A. MASSACHUSETTS STATE ROUTE 2A)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY) TWO WAY TRAFFIC

OWNER MAINTENANCE RESPONSIBILITIES

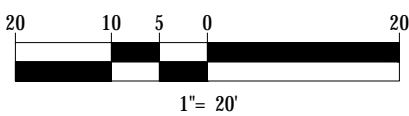
UPON OWNERS (OR OWNER CONTRACTORS) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPRKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION: PLANTS, TREE, BURNES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND WALKWAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES &
DETAILS SHEET FOR LANDSCAPE
NOTES AND DETAILS



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY



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PROJECT No.: W161132
DRAWN BY: CFDP/NDP
CHECKED BY: RMM
DATE: 01/21/2024
CAD I.D.: W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE
PLAN DOCUMENTS

FOR

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

PROPOSED
CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS



352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com



SHEET TITLE:

LANDSCAPE
PLAN

SHEET NUMBER:

C-701

ORG. DATE - #####

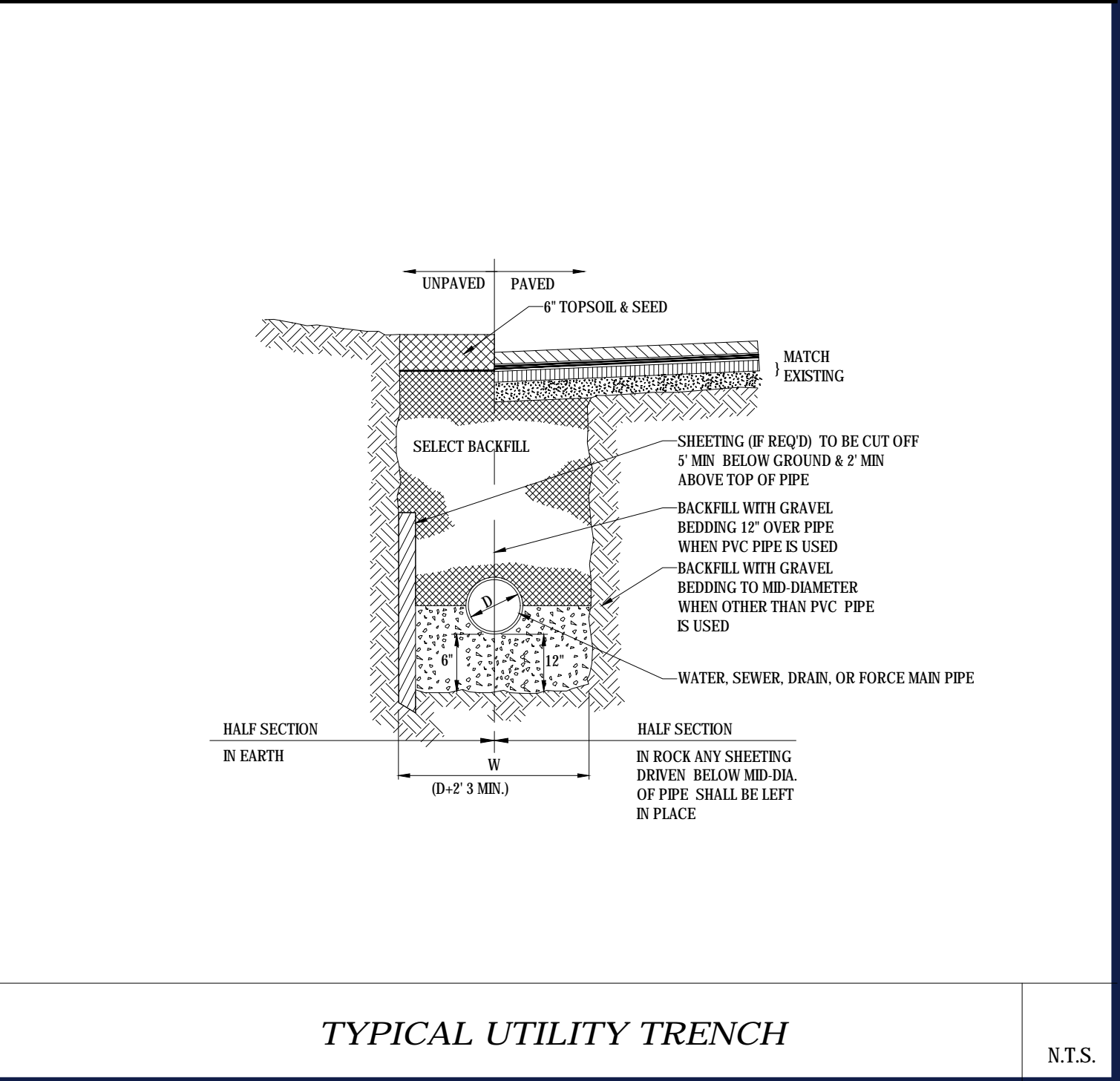
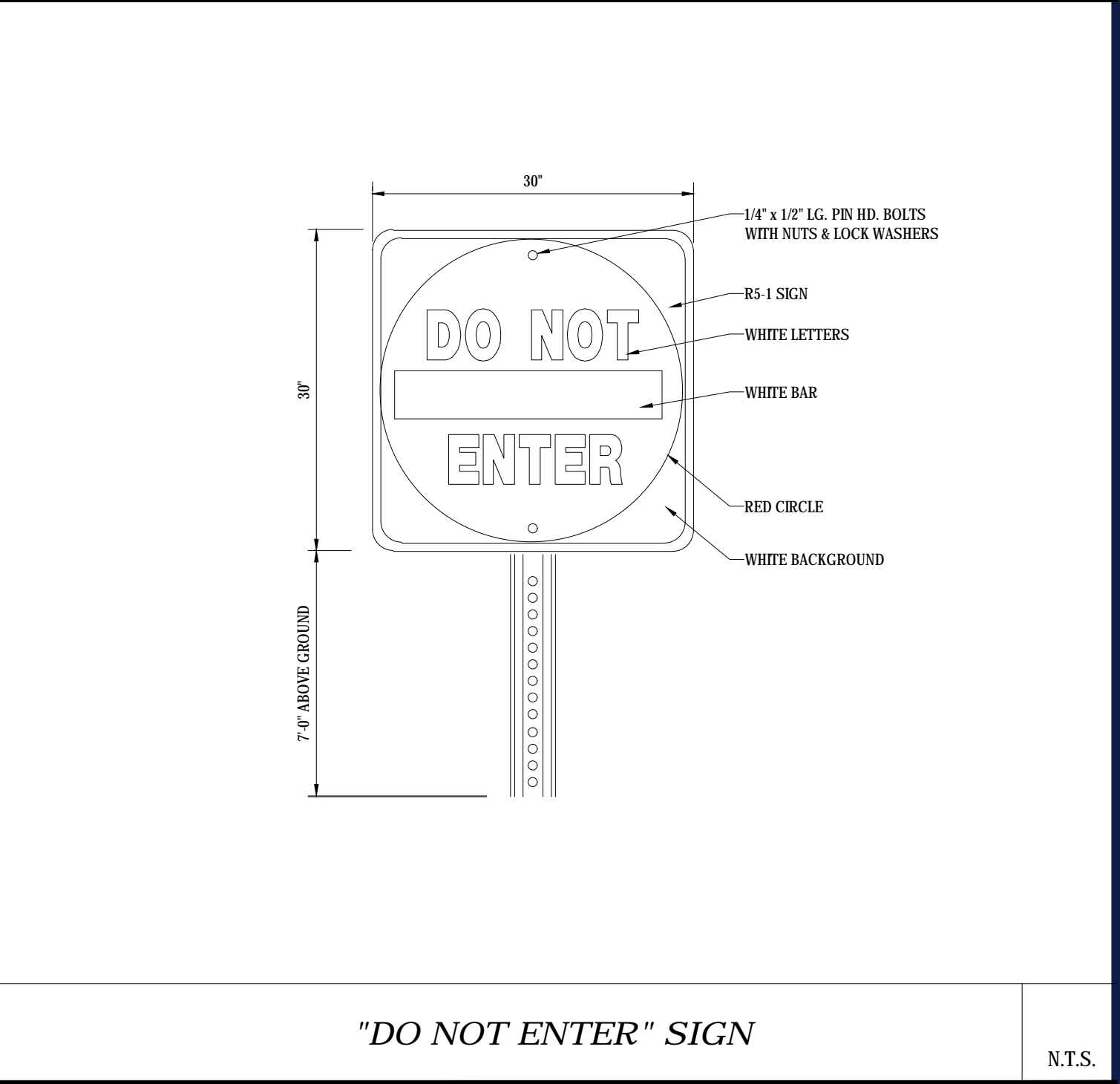
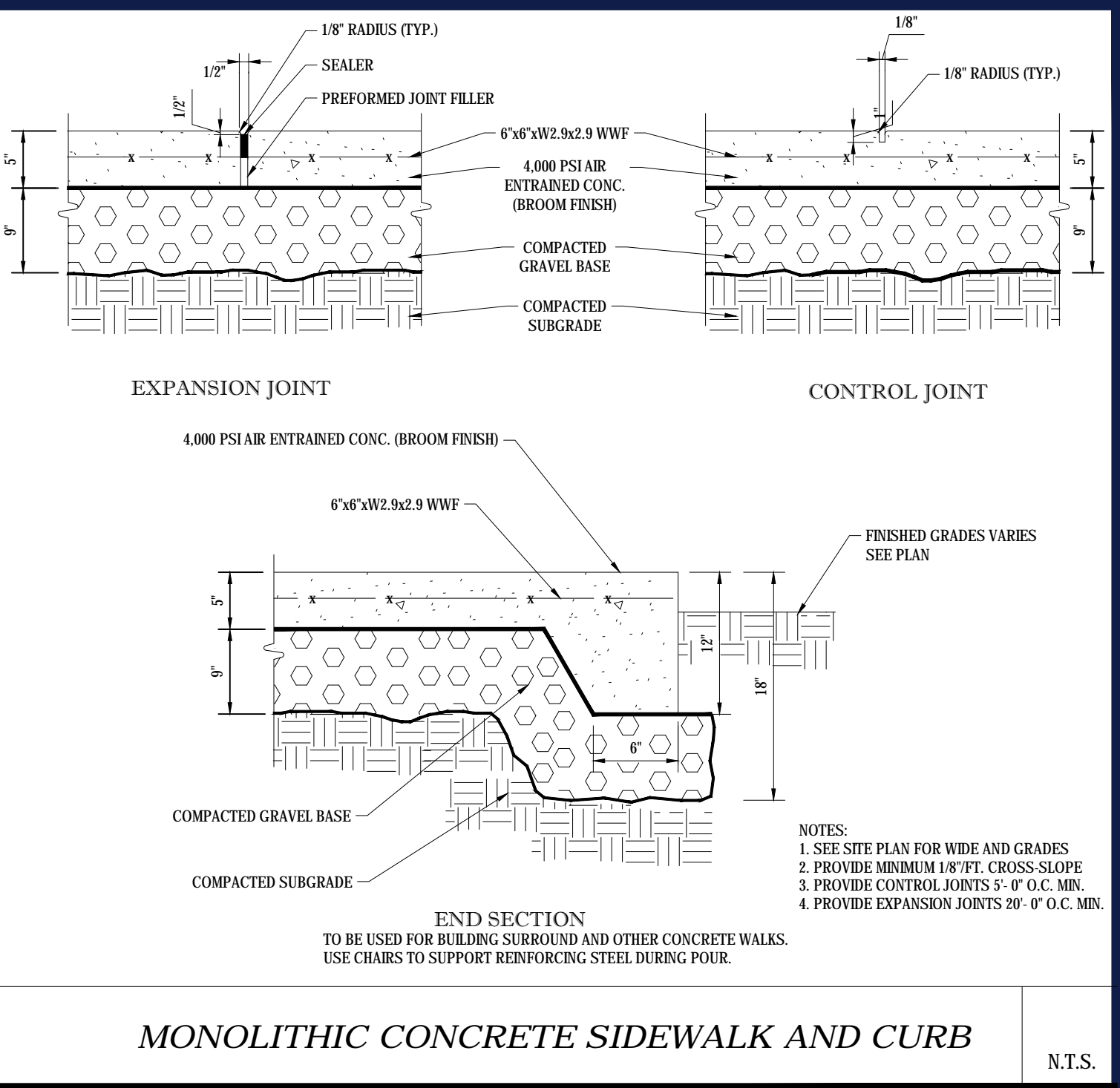
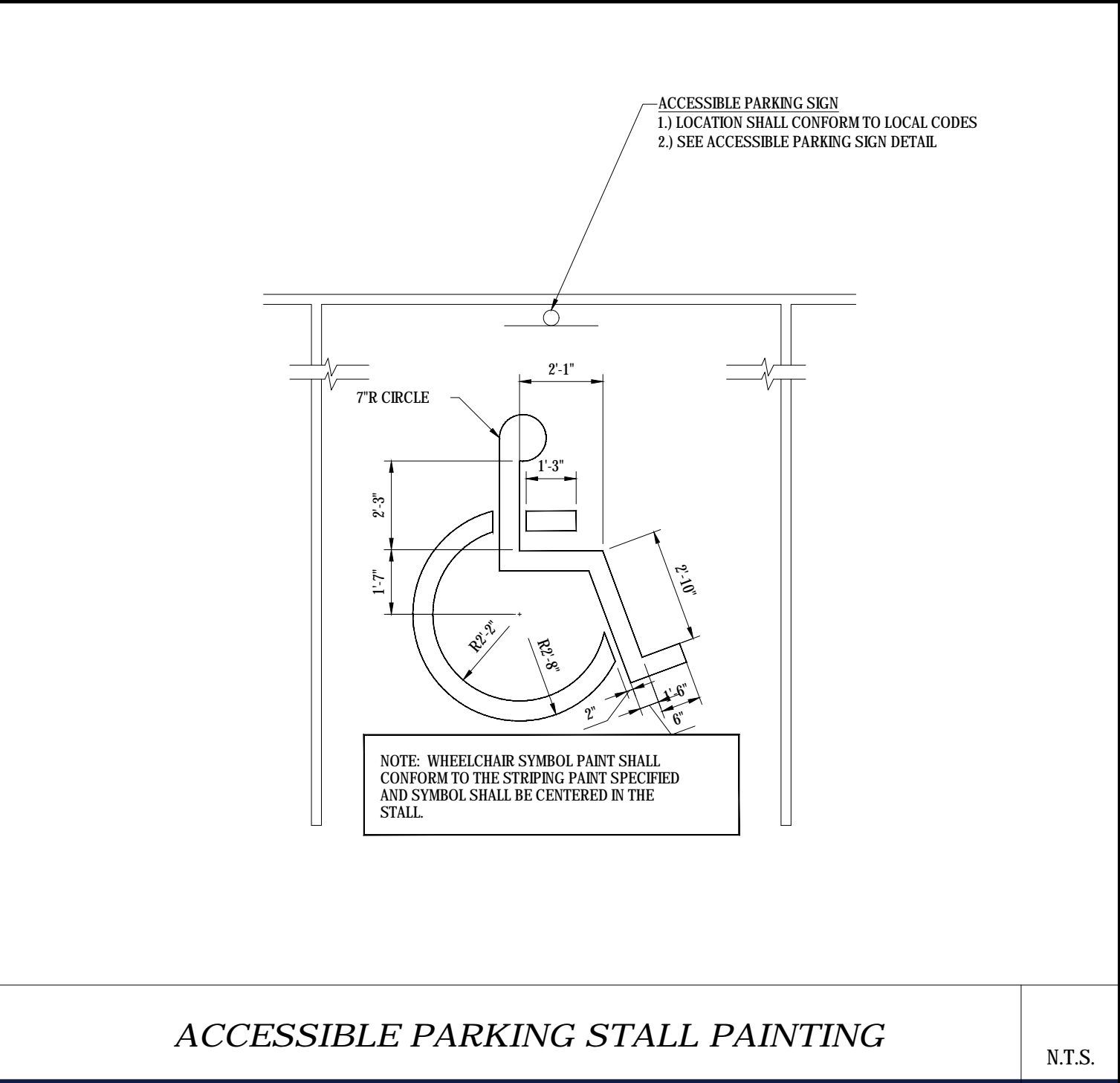
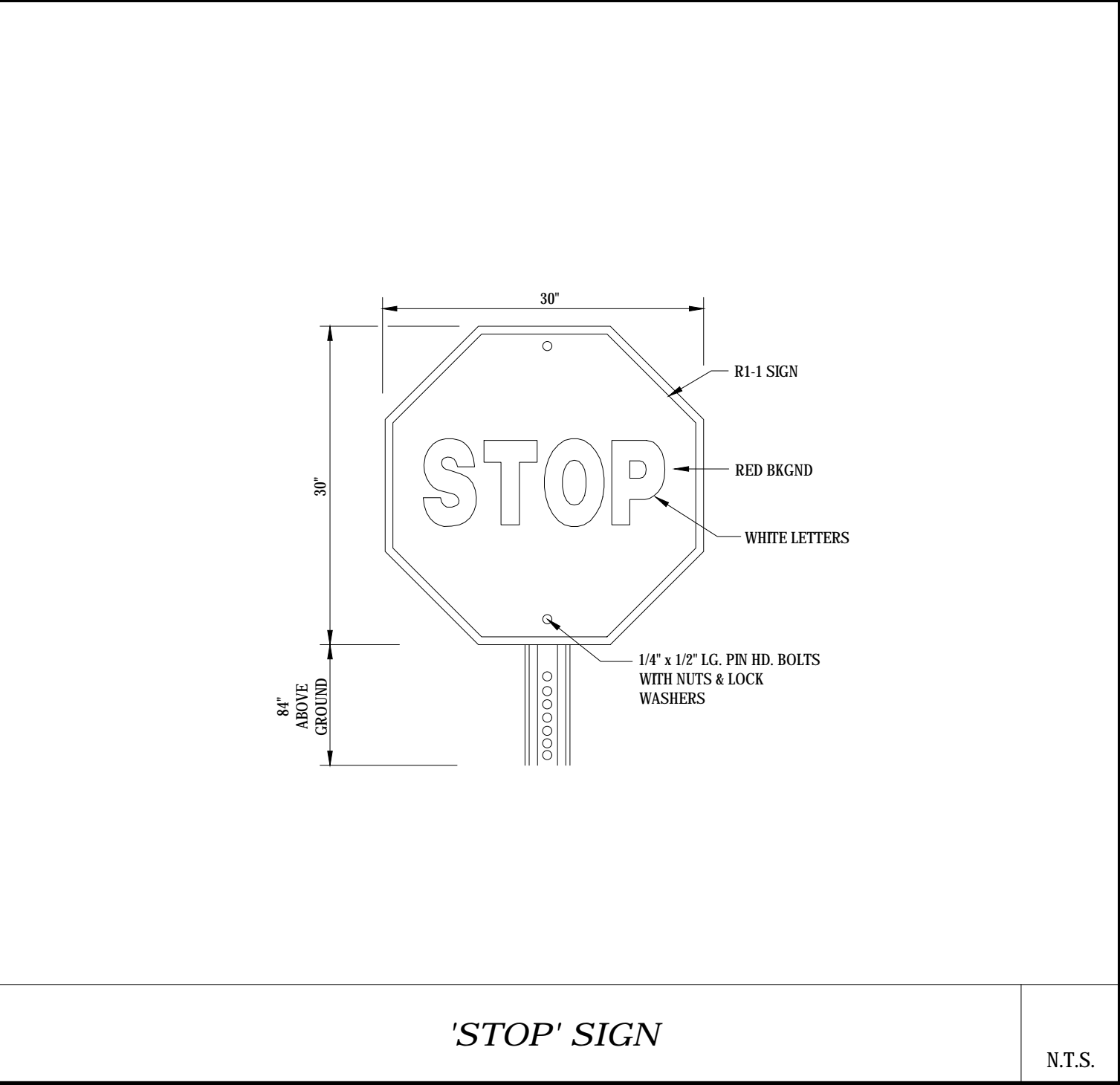
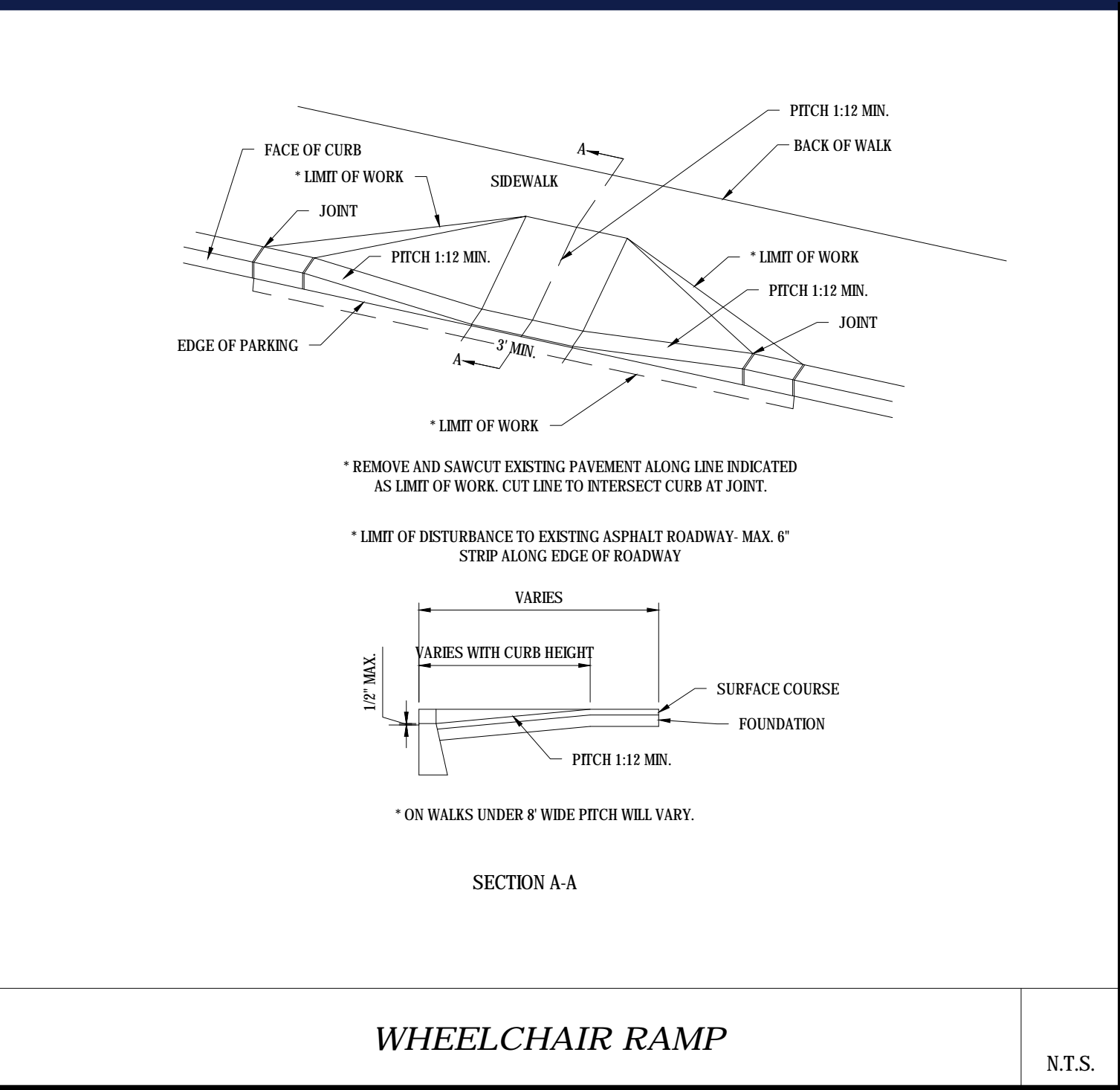
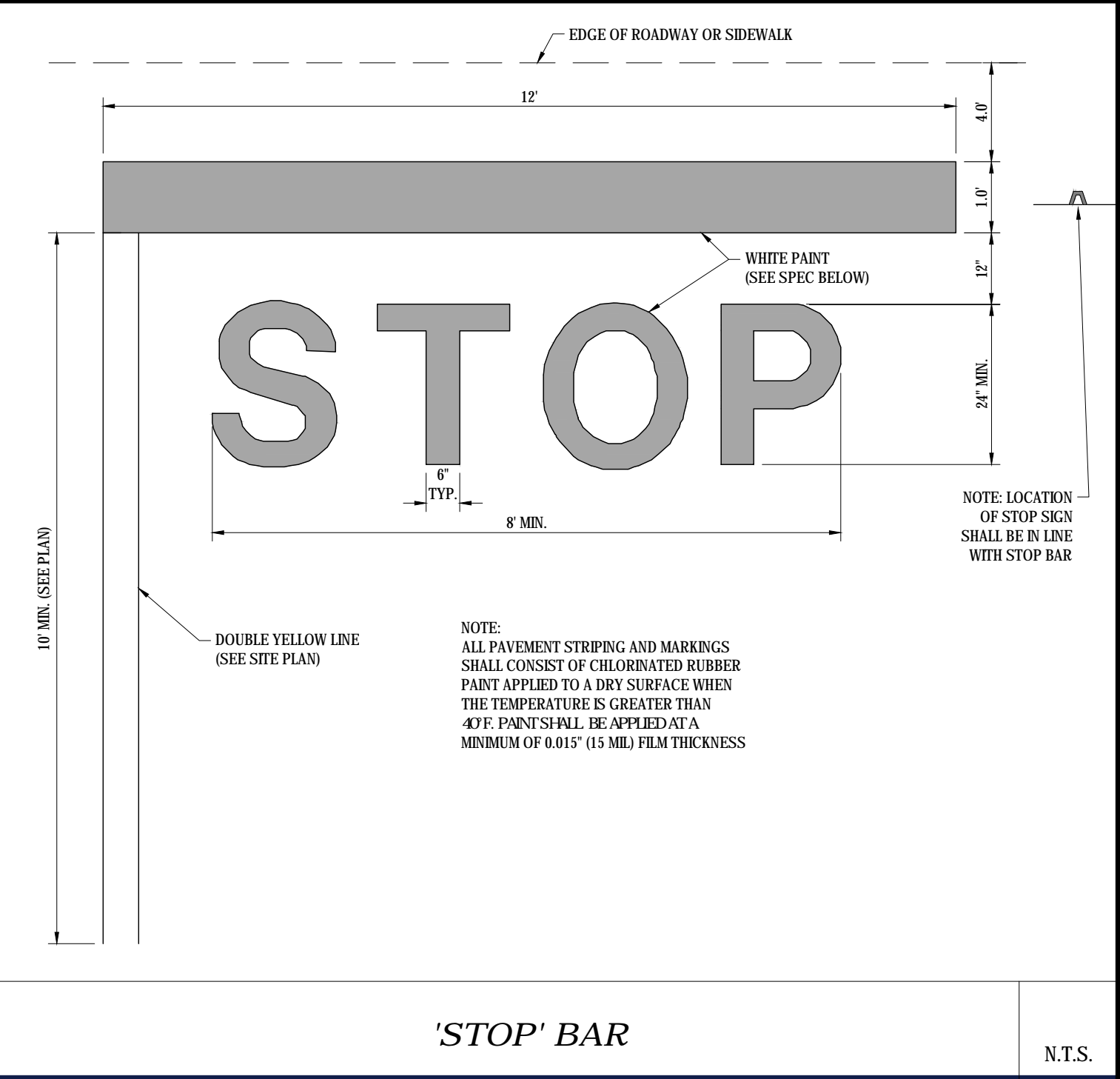
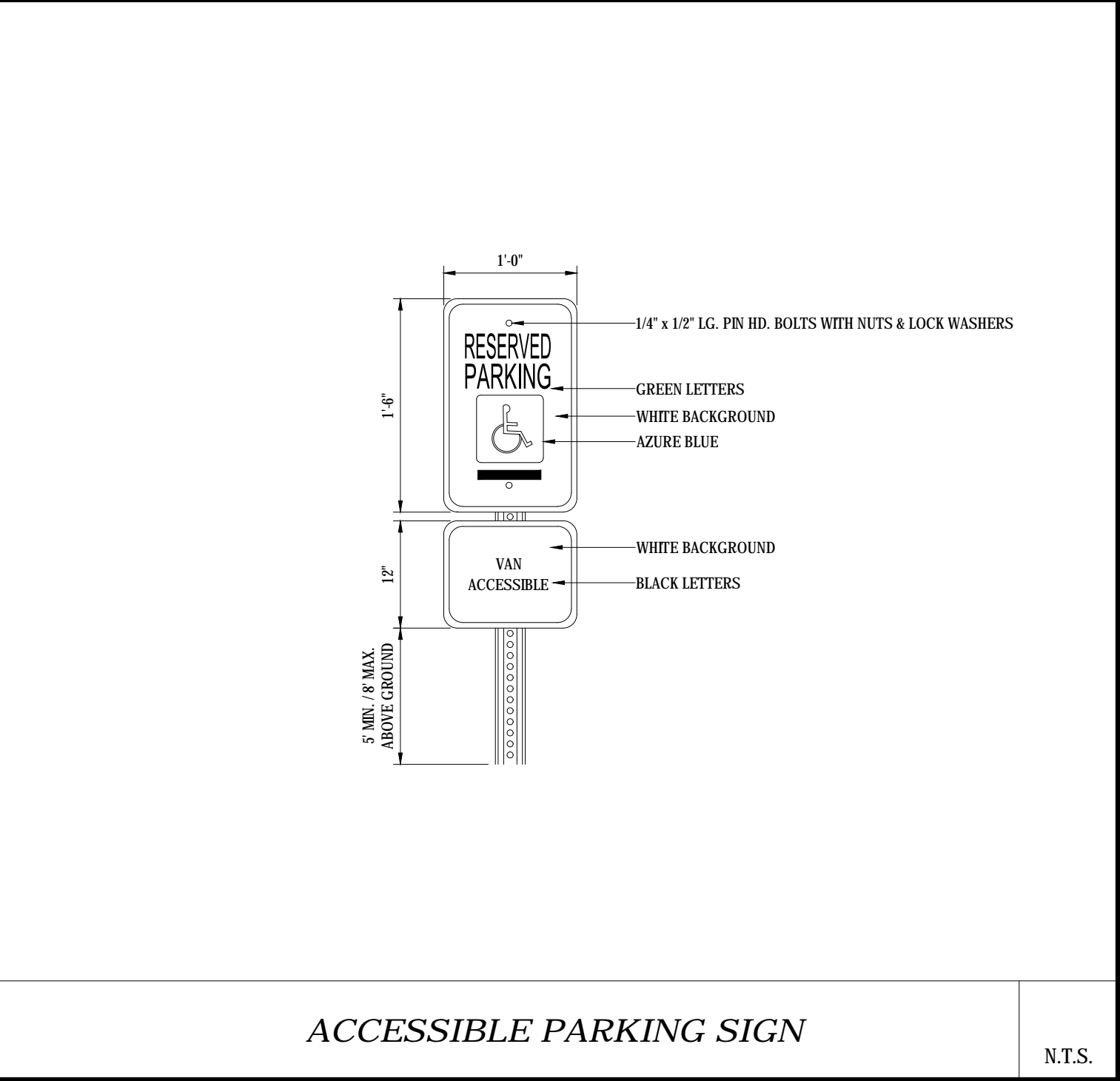
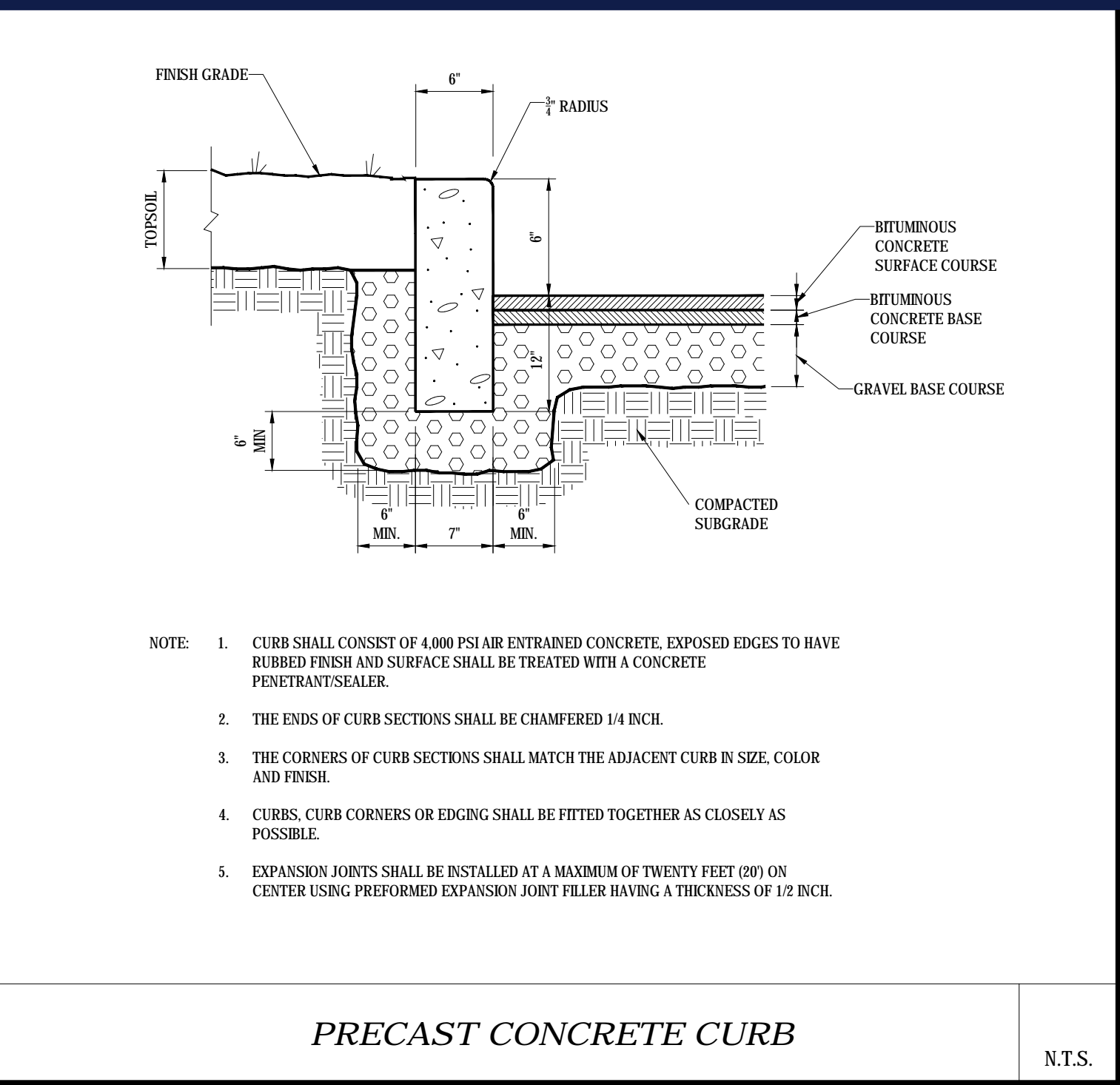
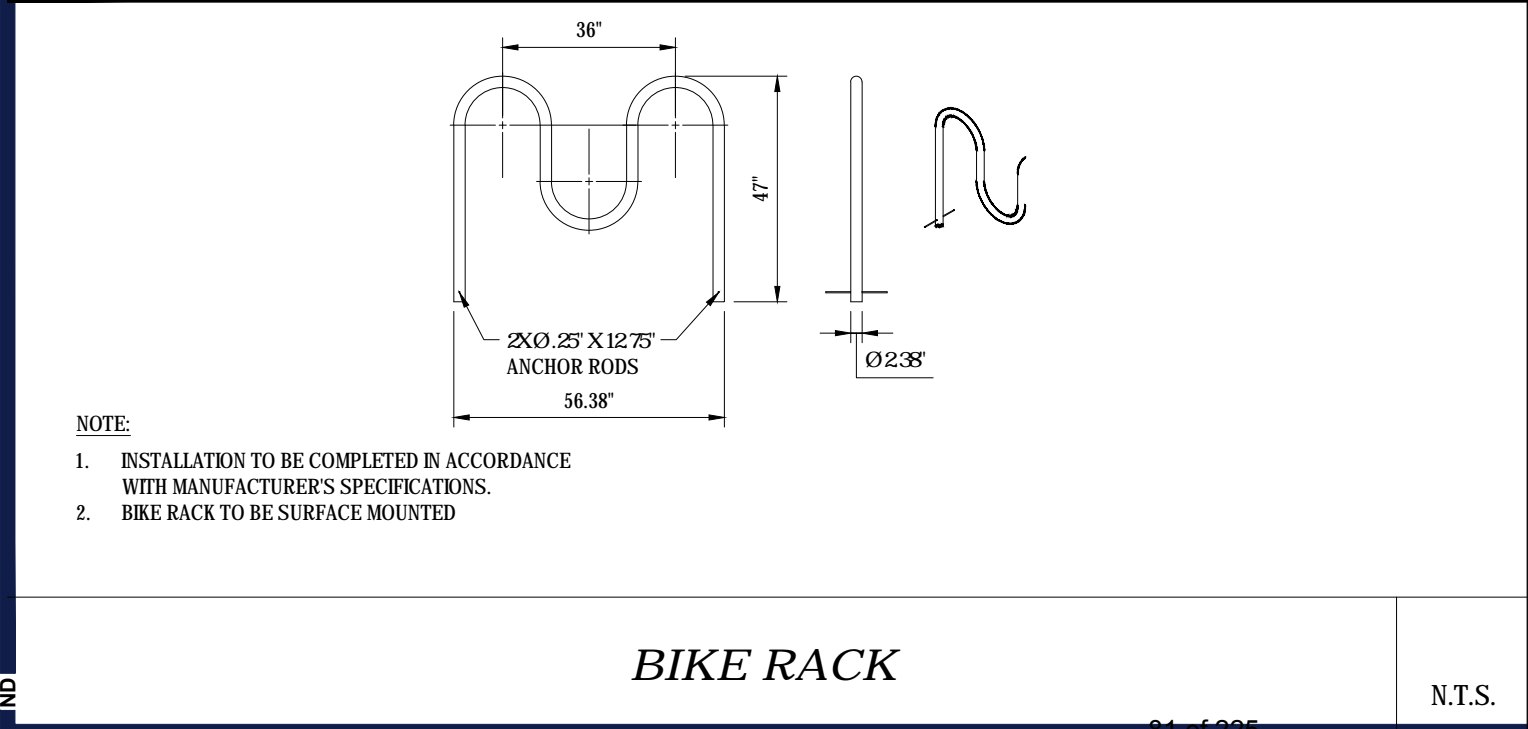
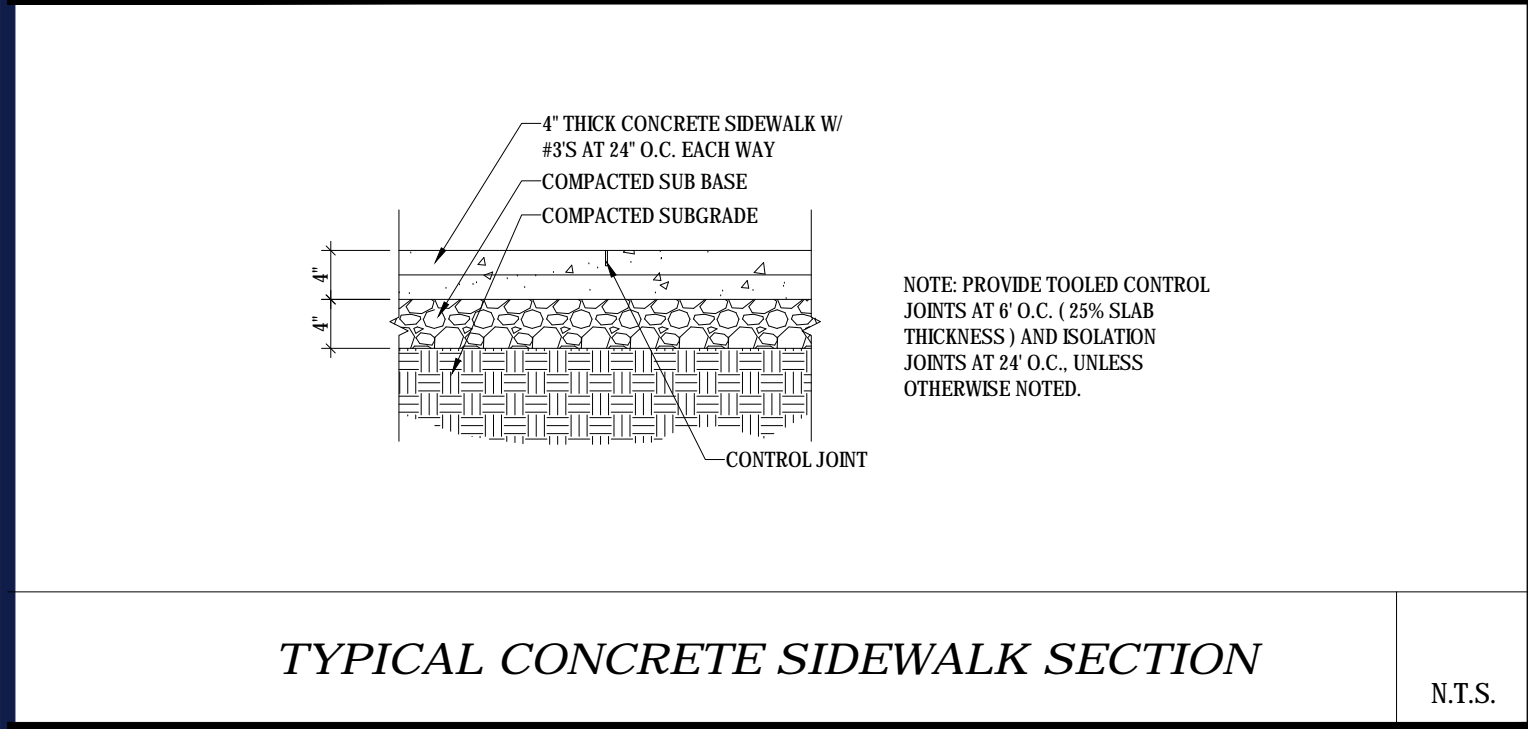
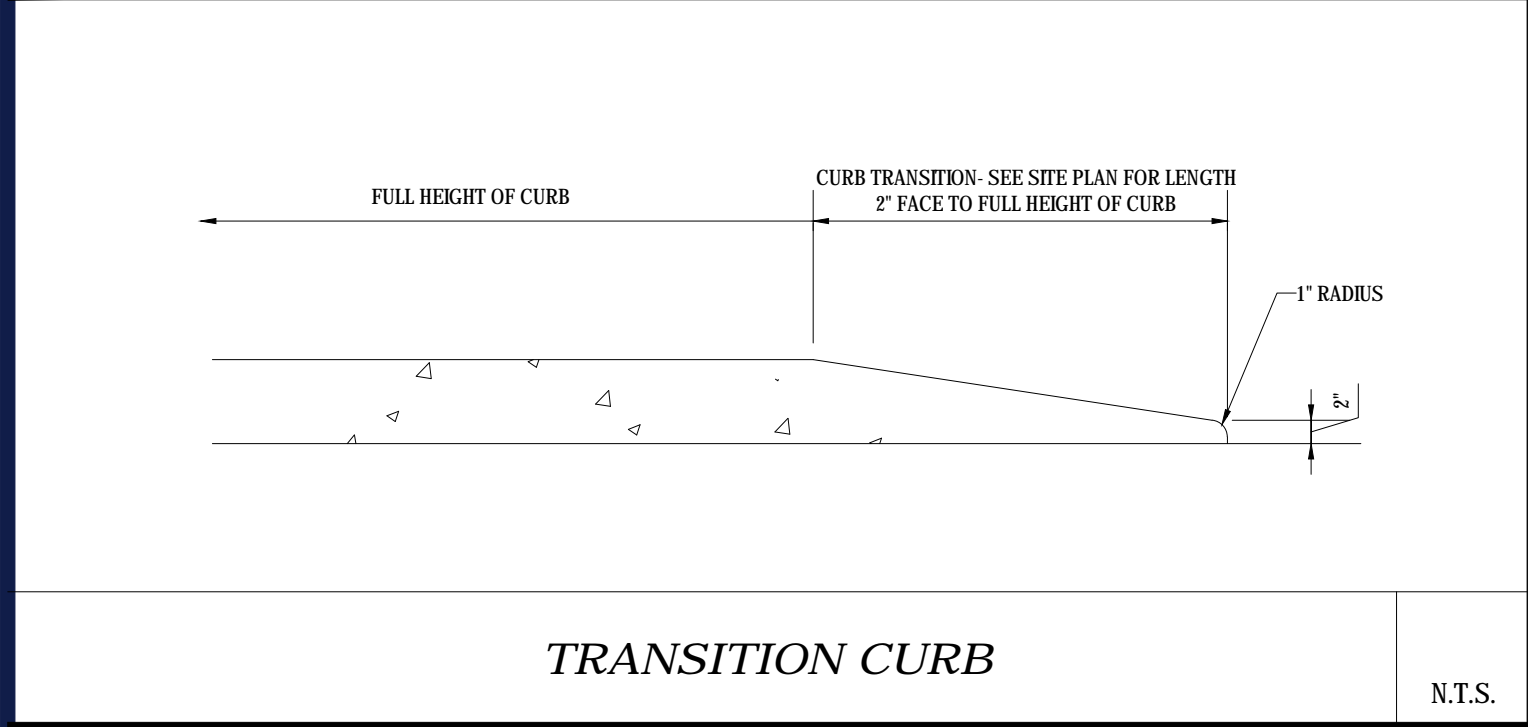
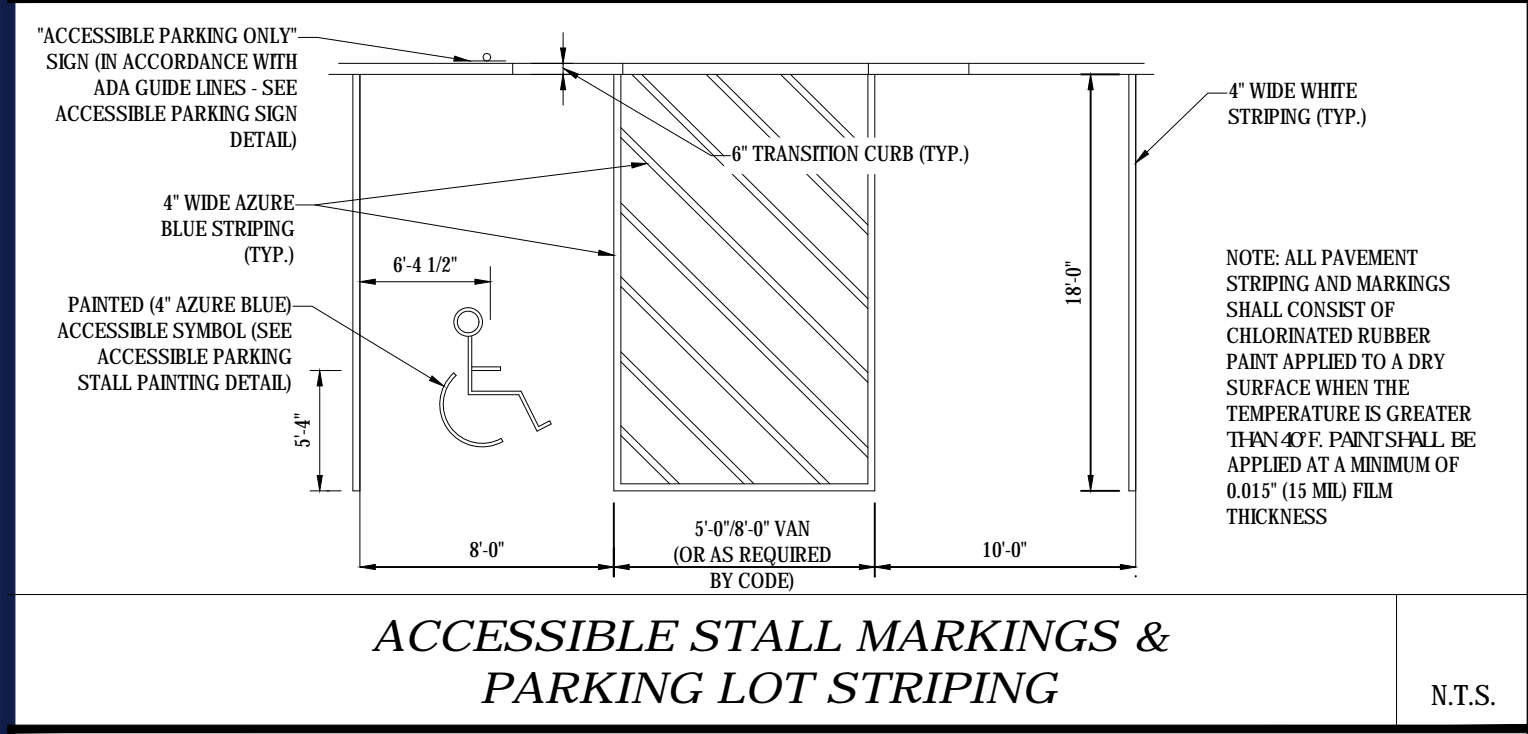
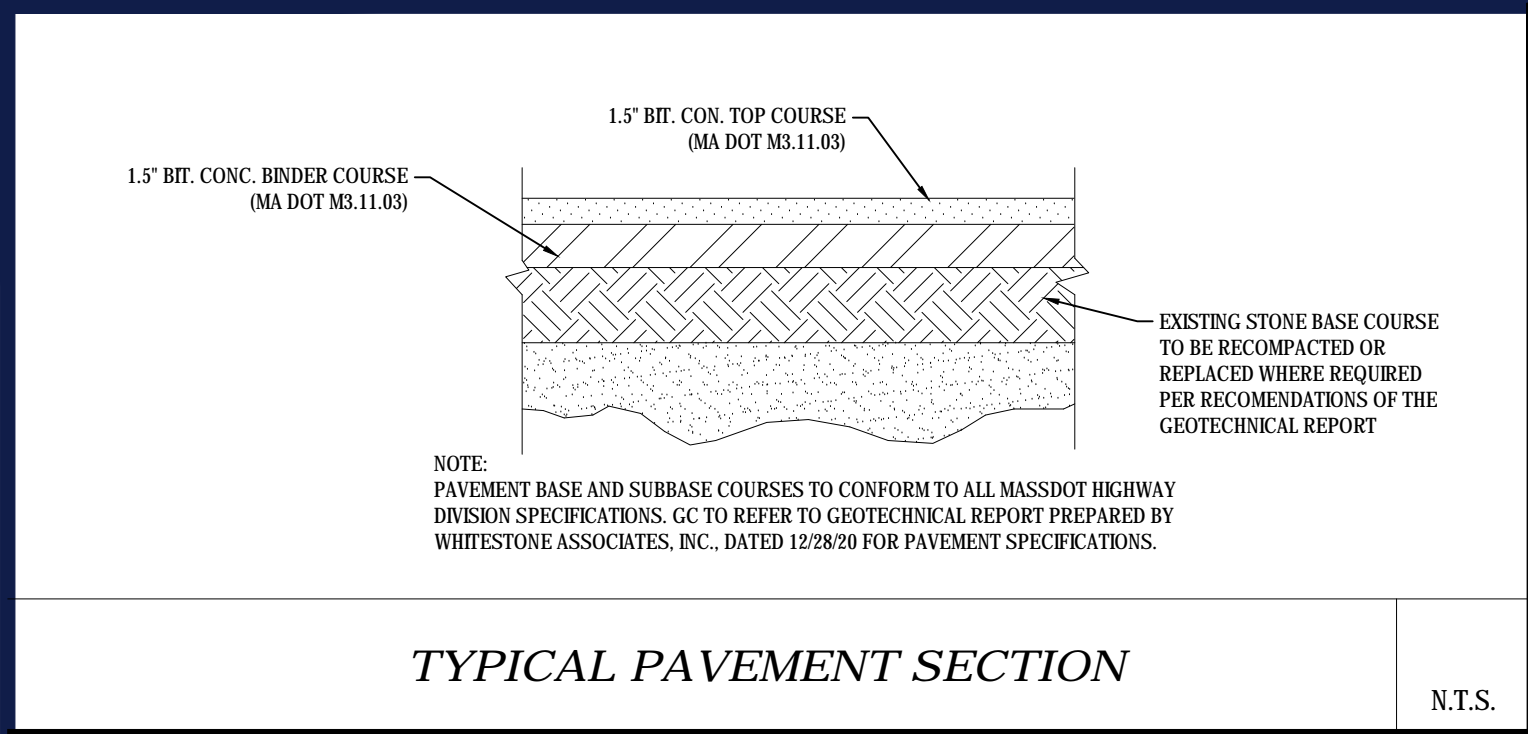
LANDSCAPE SPECIFICATIONS

1.	SCOPE OF WORK:				LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
1.1.	THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.			ACER BURNING BETULA VARIETIES CARPINUS VARIETIES CRATAEGUS VARIETIES KOELREUTERIA LIQUIDAMBAR STRYACIFLUA LIRIODENDRON TULIPIFERA	PLATANUS X ACERIFOLIA POPULUS VARIETIES PRUNUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES TILIA TOMENTOSA ZELKOVA VARIETIES
2.	MATERIALS				
2.1.	GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.				
2.2.	TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE (1") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLUMPS.				
2.3.	LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN				9.8.1. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
2.3.1.	LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.				9.8.2. 1 PART PEAT MOSS
2.3.2.	SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.				9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME
2.4.	MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.				9.8.3. 3 PARTS TOPSOIL BY VOLUME
2.5.	FERTILIZER				9.8.4. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
2.5.1.	FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.				9.8.4.1. 2 TABLETS PER 1 GALLON PLANT
2.5.2.	FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.				9.8.4.2. 3 TABLETS PER 5 GALLON PLANT
2.6.	PLANT MATERIAL				9.8.4.3. 4 TABLETS PER 15 GALLON PLANT
2.6.1.	ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSEMEYEN). IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.				9.8.4.4. LARGER PLANTS: 2 TABLETS PER 1/2 CALIPER OF TRUNK
2.6.3.	PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.				9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
2.6.4.	TREES WITH A MAXIMUM OF 12" BARK, SUNSCALDS, DISFOLCATIONS OR FRESH CUTS OF LIMBS OVER 1/4" IN WHICH WOUND BEEN COMPLETED, CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE FOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.				9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
2.6.5.	ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS OR LARVAE.				9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
2.6.6.	CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.				9.12. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO IT. TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
2.6.7.	SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.				9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
2.6.8.	TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.				9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
3.	GENERAL WORK PROCEDURES				9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
3.1.	CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.				10. TRANSPLANTING (WHEN REQUIRED)
3.2.	WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.				10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
4.	SITE PREPARATION				10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEADED WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
4.1.	BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.				10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
4.2.	ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.				10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
4.3.	CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.				10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
5.	TREE PROTECTION				10.6. TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
5.1.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.				11. WATERING
5.2.	A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH DENSITY VES FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED AT THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS NOTED WITHIN THE TREE PROTECTION DETAIL.				11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
5.3.	WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.				11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
5.4.	AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS				



ORG. DATE - #####

\\BOHLER\ENG\NET\SHARES\MA-PROJECTS\161112\DRAWINGS\PLAN SET\REV\W161112_C-901.dwg LAYOUT: C-901.dwg DETL



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BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROJECT MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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PROPOSED SITE
PLAN DOCUMENTS

FOR

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

PROPOSED
CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
No. 41697
CIVIL

SHEET TITLE:

DETAIL
SHEET

SHEET NUMBER:

C-901

ORG. DATE - #####

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- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - × TC 123.45 EXISTING TOP OF CURB ELEVATION
 - × G 122.95 EXISTING GUTTER ELEVATION
 - × TW 123.45 EXISTING TOP OF WALL ELEVATION
 - × BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - × FF 123.45 EXISTING FINISHED FLOOR ELEVATION
 - HYDRANT
 - WATER VALVE
 - GAS VALVE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND CABLE LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND GAS LINE
 - AREA LIGHT
 - VACUUM
 - SIGN
 - BOLLARD
 - PAINTED ARROWS
 - DMH DRAINAGE/STORM MANHOLE
 - EMH ELECTRIC MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - TMH TELEPHONE MANHOLE
 - CB CATCH BASIN OR INLET
 - TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DEPRESSED CURB
 - DWP DETECTABLE WARNING PAD
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - HT HEIGHT
 - BLDG BUILDING
 - BFFA BUILDING FOOTPRINT AREA
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - TOW TOP OF WATER
 - BUILDING DIMENSION
 - GC GRANITE CURB
 - CC CONCRETE CURB
 - UG UNDER GROUND
 - CLF CHAIN LINK FENCE
 - DOC DEPRESSED CURB
 - EOC EDGE OF CONCRETE
 - EOP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - (TYP) TYPICAL

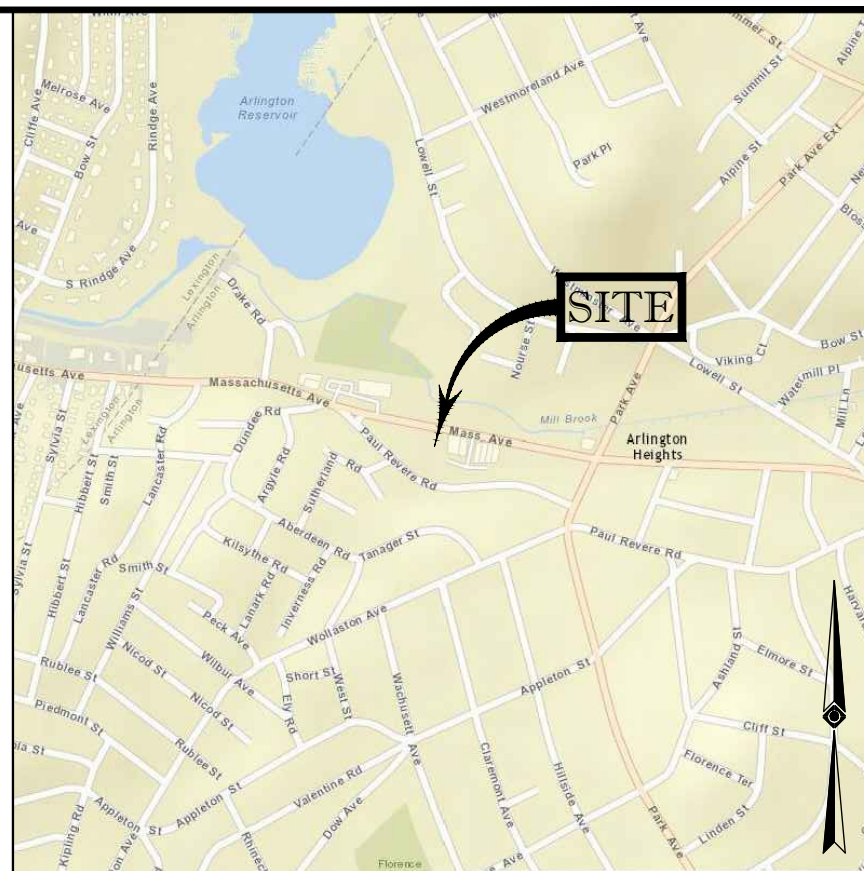
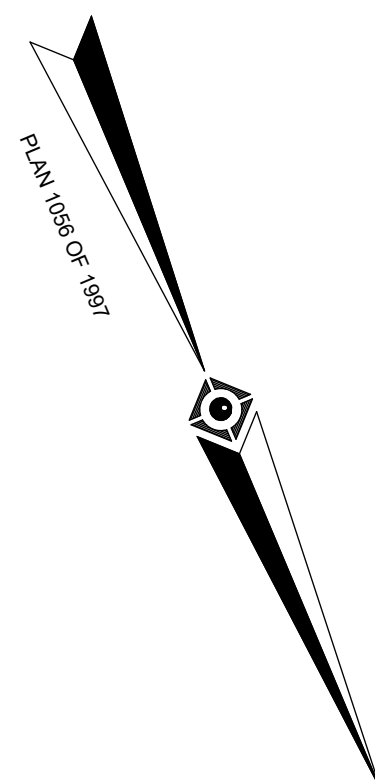
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800-288-2020
VERIZON	800-922-0204
ZAYO	866-364-0033
COMCAST	800-334-6489
CENTURYLINK	866-642-0444
CROWN CASTLE NG NETWORKS	855-913-4237
MCI	888-624-5622
MBTA	800-392-6100
RCN	800-748-4726
EVERSOURCE ELECTRIC	800-592-2000
NATIONAL GRID GAS	800-233-5325
ALCONQUIN GAS/SPECTRA ENERGY	617-254-4050
FIRSTLIGHT - WAVEGUIDE	617-892-9700



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
(NOT TO SCALE)

NOTES:

- PROPERTY KNOWN AS LOT 1, BLOCK 1 AS SHOWN ON THE TOWN OF ARLINGTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS. MAP NO. 170.
 - AREA = 19,727 SQUARE FEET OR 0.453 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12A, BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:
- | | |
|--|--------------------|
| TBM-A: MAG NAIL SET IN BRICK SIDEWALK, | ELEVATION = 154.38 |
| TBM-B: MAG NAIL SET IN BRICK SIDEWALK, | ELEVATION = 156.41 |
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF ARLINGTON, MIDDLESEX COUNTY, MASSACHUSETTS, SHEET #173.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 416 OF 656," MAP NUMBER 25017C0416C, EFFECTIVE DATE: JUNE 4, 2010.
- MAP ENTITLED "PLAN OF LAND IN ARLINGTON BELONGING TO JOSEPH H. EATON," PREPARED BY J.O. GOODWIN, DATED DECEMBER 1895, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS.
- MAP ENTITLED "PLAN OF LAND, 1406 MASSACHUSETTS AVE, ARLINGTON, MA," PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DATED MARCH 9, 2010, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 464 OF 2010.
- MAP ENTITLED "PHASE II PAUL REVERE CROSSING CONDOMINIUM, MODIFICATION, MASTER DEED PLAN IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY ROBER SURVEY, DATED SEPTEMBER 19, 2013, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 800 OF 2013.
- MAP ENTITLED "SITE PLAN, 65-67 PAUL REVERE ROAD, CONDOMINIUM," PREPARED BY CCR ASSOCIATES, INC., DATED MARCH 12, 2012, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 177 OF 2012.
- MAP ENTITLED "PAUL REVERE CROSSING CONDOMINIUM, MASTER DEED PLAN IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY ROBER SURVEY, DATED APRIL 1, 2013, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 217 OF 2013.
- MAP ENTITLED "SUBDIVISION OF LAND IN ARLINGTON - MASS.," PREPARED BY JOSEPH J. SULLIVAN, DATED JUNE 1969, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 659 OF 1969.
- MAP ENTITLED "PLAN OF LAND IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY H&R SURVEY, DATED AUGUST 18, 1997, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 1058 OF 1997.
- MAP ENTITLED "SUBDIVISION PLAN OF LAND, ARLINGTON, MASS.," PREPARED BY SELWYN & KIRWIN ASSOCIATES, DATED DECEMBER 4, 1979, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 1527 OF 1979.
- MAP ENTITLED "ALTA/ACSM LAND TITLED SURVEY, PREPARED FOR CITIZENS BANK, CITIZENS FINANCIAL GROUP, 1420 MASSACHUSETTS AVENUE, CITY OF ARLINGTON, COUNTY OF MIDDLESEX, STATE OF MASSACHUSETTS," PREPARED BY MILLMAN SURVEYING, DATED APRIL 18, 2006, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 1564 OF 2006.
- MAP ENTITLED "SUB-DIVISION OF LAND IN ARLINGTON MASS.," PREPARED BY JOS. J. SULLIVAN, DATED DECEMBER, 1952, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 96 OF 1953.
- MAP ENTITLED "BOSTON EDISON COMPANY, TRANSMISSION AND DISTRIBUTION DEPT.," RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS IN BOOK 7343, PAGE 58.
- UNDERGROUND ELECTRIC FACILITY MAPPING PROVIDED BY EVERSOURCE
- UNDERGROUND COMMUNICATION LINE MAPPING PROVIDED BY RCN
- PLAN SET ENTITLED "SITE REDEVELOPMENT PLANS FOR BIERBRIER DEVELOPMENT, INC. #1406 MASSACHUSETTS AVENUE, ARLINGTON, MA," DATED AUGUST 19, 2009, PREPARED BY ALLEN & MAJOR ASSOCIATES, INC.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL



8-28-20
DATE

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE
6-30-16

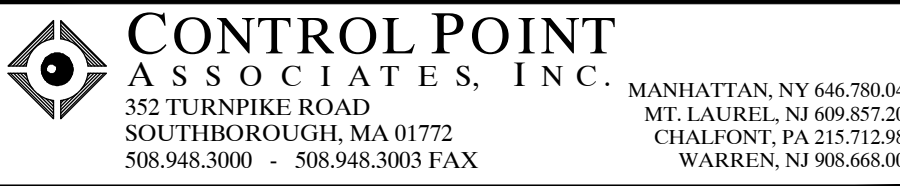
FIELD BOOK NO.
71-72

FIELD BOOK PGS.
16-03MA

FIELD CREW
B.S.B.

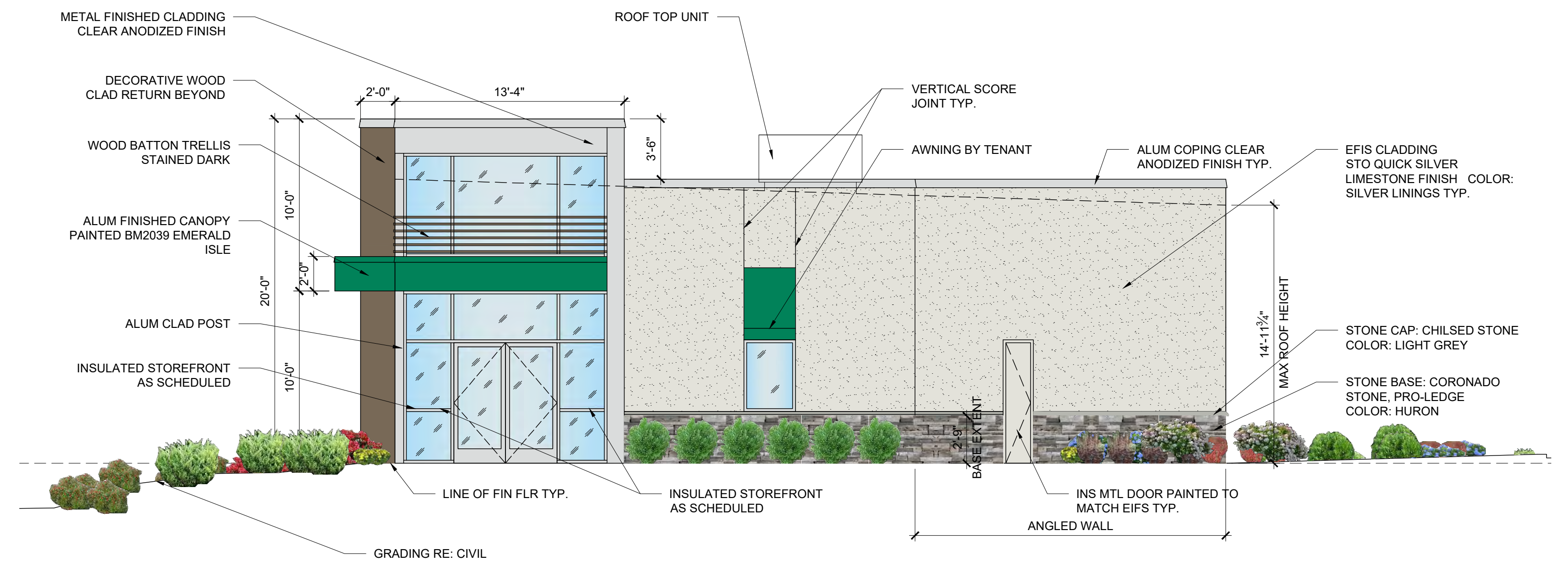
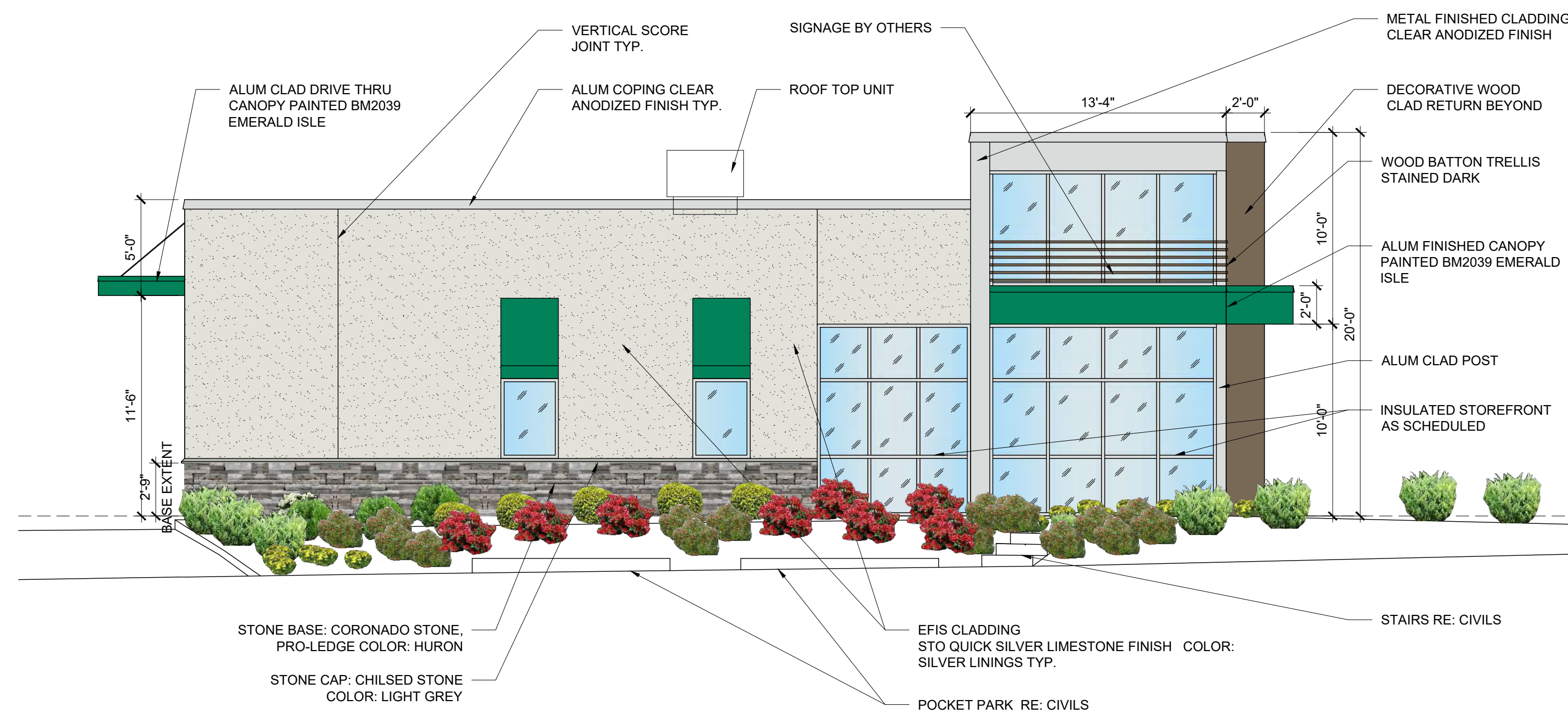
DRAWN:
INDO

BOUNDARY AND TOPOGRAPHIC SURVEY
1420 MASSACHUSETTS AVENUE, LLC
1420 MASSACHUSETTS AVENUE
LOT 4.A, BLOCK 2, MAP 173
TOWN OF ARLINGTON, MIDDLESEX COUNTY
COMMONWEALTH OF MASSACHUSETTS



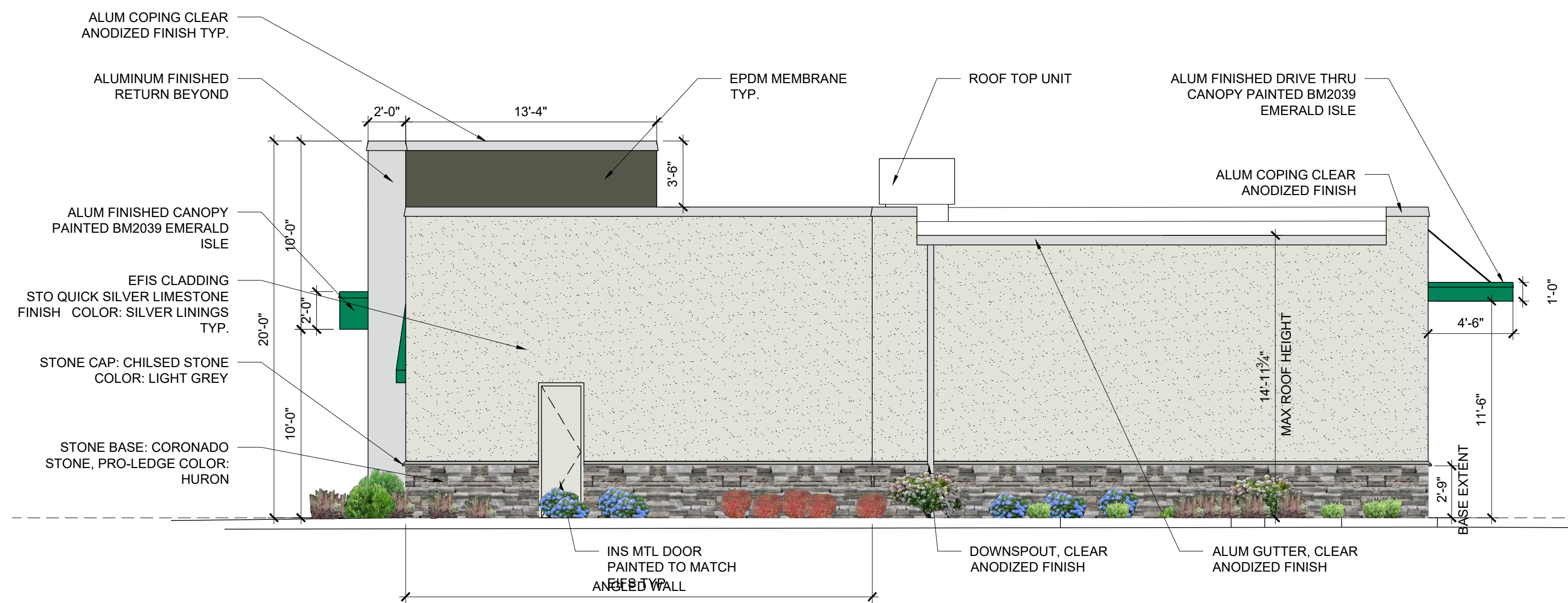
MANHATTAN, NY 646.780.0411
352 TURNPIKE ROAD
SOUTH BOKROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX

REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
S.P.P.	G.L.H.	7-15-16	1"=10'	03-160131A	1 OF 1

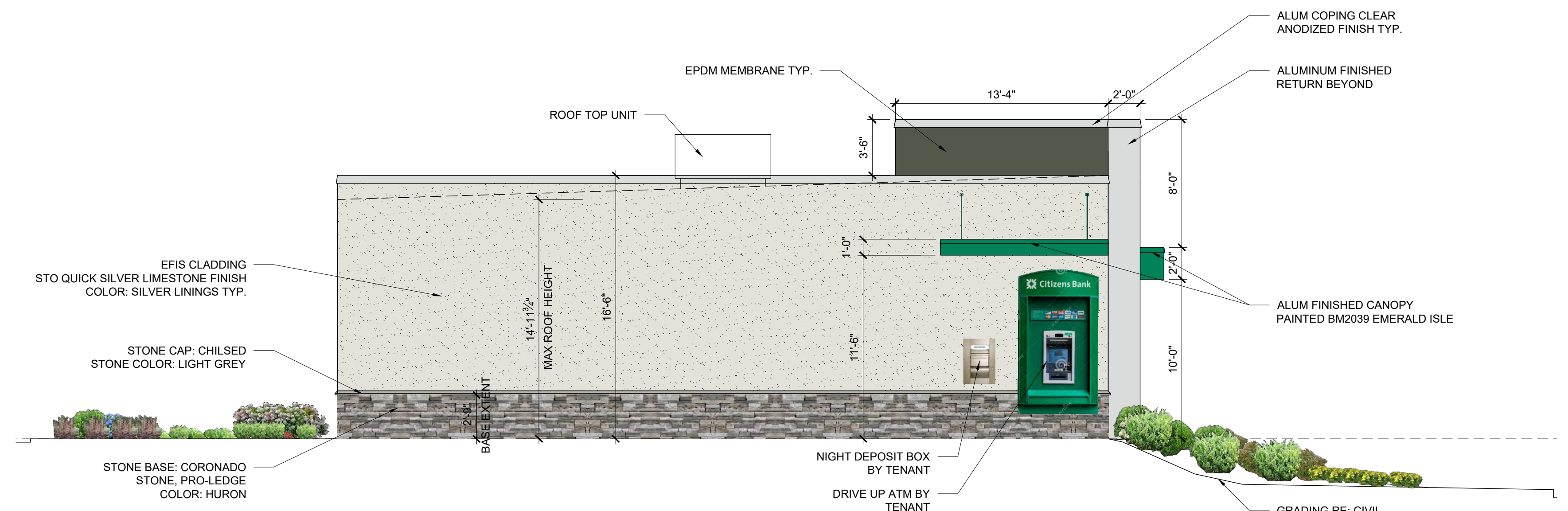


PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)
SCALE: 3/16"-1'-0"

PROPOSED RIGHT SIDE ELEVATION
SCALE: 3/16"-1'-0"



PROPOSED REAR ELEVATION
SCALE: 3/16"-1'-0"



PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)
SCALE: 3/16"-1'-0"

Conceptual Elevations

DRAINAGE MEMORANDUM

For



***1420 Massachusetts Avenue
Town of Arlington, Massachusetts
Middlesex County***

Prepared by:

BOHLER
352 Turnpike Road
Southborough, MA 01772
(508) 480-9900 TEL.



Joshua G. Swerling, P.E.
Massachusetts P.E. Lic. # 41697

BOHLER //

January 21, 2021

#W161132

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I. SUMMARY

This report examines the changes in drainage that can be expected as the result of the redevelopment consisting of the demolition of the existing building and construction of a new 2,400± SF bank with associated utility construction and minor parking renovations located at 1420 Massachusetts Avenue in the Town of Arlington, Massachusetts. The site, which contains approximately 0.45 acres of land, contains an existing building, paved parking lot, and associated landscaped areas.

The proposed project includes the construction of a new 2,400± SF bank with associated ATM drive-through. The project also includes construction of new landscaped areas and a new pocket park area along with repaving of the existing parking lot. This report addresses a comparative analysis of the pre- and post-development site runoff conditions using the Rational Method. The project will also provide erosion and sedimentation controls during the demolition and construction periods, as well as long term stabilization of the site.

The majority of the site area currently drains to existing catch basins within the parking area that flow to an existing drain manhole within Massachusetts Avenue. The remainder of the site sheet flows toward Massachusetts Avenue. As a result of this redevelopment, a decrease in flow is expected to all discharge points as a result of the decrease of approximately 970 SF of impervious area.

The proposed site conditions will improve water quality through the decrease in impervious area. The building's roof will be directed to a landscaped depression to the south of the building that will also result in an increase of water quality from the existing condition. Implementation of stormwater Best Management Practices will comply with Massachusetts DEP standards. Stormwater management will meet all redevelopment requirements of the current Massachusetts Department of Environmental Protection Stormwater Policy Handbook and the Town of Arlington's requirements for stormwater drainage.

The soils at the site are mapped as Urban land and Canton-Charlton-Urban land complex Paxton-Urban land complex, which is classified as Hydraulic Soil Group (HSG) A. Based off the data

presented in the Report of Geotechnical Investigation prepared by Whitestone Associates, Inc., the site was modeled with HSG A. Refer to **Appendix C** for additional information.

II. RATIONAL DRAINAGE CALCULATIONS

EXISTING CONDITIONS

<u>Coverage type</u>	<u>acres</u>	<u>pct.</u>	<u>"C"</u>	<u>frac.</u>	
Impervious	0.35	0.78	0.95	0.74	
Landscape / Grass	0.1	0.22	0.30	0.07	
Total	0.45			0.8	(Composite "C")

PROPOSED CONDITIONS

<u>Coverage type</u>	<u>acres</u>	<u>pct.</u>	<u>"C"</u>	<u>frac.</u>	
Impervious	0.32	0.71	0.95	0.68	
Landscape / Grass	0.13	0.29	0.30	0.09	
Total	0.45			0.76	(Composite "C")

Time of Concentration

5 MIN

IDF Chart

<u>"I"</u>	
2-yr storm	4.3
10-yr storm	5.8
50-yr storm	7.2
100-yr storm	8.0

RUNOFF CALCULATIONS "Q" = C x I x A

<u>Existing Conditions</u>	<u>C</u>	<u>I</u>	<u>A</u>	<u>Q</u>	
2-yr storm	0.80	4.3	0.448	1.55	cfs
10-yr storm	0.80	5.8	0.448	2.09	cfs
50-yr storm	0.80	7.2	0.448	2.60	cfs
100-yr storm	0.80	8.0	0.448	2.88	cfs

<u>Proposed Conditions</u>	<u>C</u>	<u>I</u>	<u>A</u>	<u>Q</u>	
2-yr storm	0.76	4.3	0.45	1.47	cfs
10-yr storm	0.76	5.8	0.45	1.99	cfs
50-yr storm	0.76	7.2	0.45	2.47	cfs
100-yr storm	0.76	8.0	0.45	2.74	cfs

Difference (Existing vs. Proposed)

2-yr storm	-0.08	cfs	-5%
10-yr storm	-0.10	cfs	-5%
50-yr storm	-0.13	cfs	-5%
100-yr storm	-0.14	cfs	-5%

III. STORMWATER MANAGEMENT STANDARDS

Standard #1: No New Untreated Discharges

The project has been designed to maintain existing drainage patterns and the amount of impervious area discharging to Massachusetts Avenue has been decreased from the existing condition.

Standard #2: Peak Rate Attenuation

As outlined in **Section II**, the development of the site has been designed so that post-development peak rates of runoff as well as volume are below pre-development conditions for the 2-, 10-, 50-, and 100-year storm events.

Standard #3: Recharge

The project is a redevelopment and results in a decrease of impervious area. Thus, no recharge is required. However, on-site recharge will be increased due to the increase in pervious landscaped areas.

Standard #4: Water Quality

The project is a redevelopment and results in a decrease of impervious area. Thus, no water quality is required. However, water quality will be increased due to the increase in pervious area.

Standard #5: Land Use with Higher Potential Pollutant Loads

Not Applicable for this project.

Standard #6: Critical Areas

Not Applicable for this project.

Standard #7: Redevelopment

The site is considered a redevelopment and results in a decrease of approximately 970 SF of impervious area.

Standard #8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

The proposed project will provide construction period erosion and sedimentation controls as indicated within the site plan set provided for this project. This includes a proposed construction exit, protection for stormwater inlets, protection around temporary material stock piles and various other techniques as outlined on the erosion and sediment control sheets. Additionally, the project is required to file a Notice of Intent with the US EPA and implement a Stormwater Pollution Prevention Plan (SWPPP) during the construction period. The SWPPP will be prepared prior to the start of construction and will be implemented by the site contractor under the guidance and responsibility of the project's proponent.

Standard #9: Operation and Maintenance Plan (O&M Plan)

An Operation and Maintenance (O&M) Plan for this site has been prepared and is included in **Appendix E** of this report. The O&M Plan outlines procedures and timetables for the long term operation and maintenance of the proposed site stormwater management system, including initial inspections upon completion of construction and periodic monitoring of the system components, in accordance with established practices and the manufacturer's recommendations. The O&M Plan includes a list of responsible parties.

Standard #10: Prohibition of Illicit Discharges

The proposed stormwater system will only convey allowable non-stormwater discharges (firefighting waters, irrigation, air conditioning condensation, etc.) and will not contain any illicit discharges from prohibited sources.

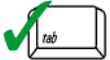
APPENDIX A: MASSACHUSETTS STORMWATER MANAGEMENT CHECKLIST



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

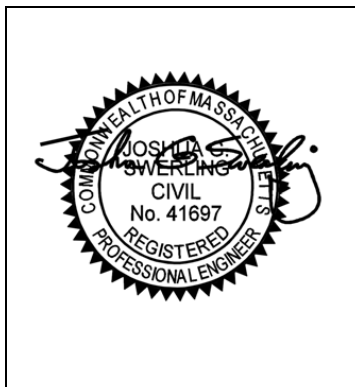
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Signature and Date

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- ☐ New development
- ☒ Redevelopment
- ☐ Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- ☒ No disturbance to any Wetland Resource Areas
- ☐ Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- ☒ Reduced Impervious Area (Redevelopment Only)
- ☐ Minimizing disturbance to existing trees and shrubs
- ☐ LID Site Design Credit Requested:
 - ☐ Credit 1
 - ☐ Credit 2
 - ☐ Credit 3
- ☐ Use of "country drainage" versus curb and gutter conveyance and pipe
- ☐ Bioretention Cells (includes Rain Gardens)
- ☐ Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- ☐ Treebox Filter
- ☐ Water Quality Swale
- ☐ Grass Channel
- ☐ Green Roof
- ☐ Other (describe): _____

Standard 1: No New Untreated Discharges

- ☒ No new untreated discharges
- ☐ Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- ☐ Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

- ☐ Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- ☐ Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- ☒ Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- ☒ Soil Analysis provided.
- ☐ Required Recharge Volume calculation provided.
- ☐ Required Recharge volume reduced through use of the LID site Design Credits.
- ☐ Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - ☐ Static
 - ☐ Simple Dynamic
 - ☐ Dynamic Field¹
- ☐ Runoff from all impervious areas at the site discharging to the infiltration BMP.
- ☐ Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- ☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- ☒ Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - ☐ Site is comprised solely of C and D soils and/or bedrock at the land surface
 - ☐ M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - ☐ Solid Waste Landfill pursuant to 310 CMR 19.000
 - ☒ Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- ☐ Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- ☐ Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- ☐ The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- ☐ Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- ☒ A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
- ☐ Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
- ☐ is within the Zone II or Interim Wellhead Protection Area
 - ☐ is near or to other critical areas
 - ☐ is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - ☐ involves runoff from land uses with higher potential pollutant loads.
- ☐ The Required Water Quality Volume is reduced through use of the LID site Design Credits.
- ☐ Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- ☐ The BMP is sized (and calculations provided) based on:
 - ☐ The ½" or 1" Water Quality Volume or
 - ☐ The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- ☐ The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- ☐ A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- ☐ The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- ☐ The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- ☐ The NPDES Multi-Sector General Permit does **not** cover the land use.
- ☐ LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- ☐ All exposure has been eliminated.
- ☐ All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- ☐ The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- ☐ The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- ☐ Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- ☒ The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
 - ☐ Limited Project
 - ☐ Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - ☐ Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - ☐ Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - ☐ Bike Path and/or Foot Path
- ☒ Redevelopment Project
- ☐ Redevelopment portion of mix of new and redevelopment.
- ☐ Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- ☒ The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- ☒ A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- ☐ The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- ☒ The project is **not** covered by a NPDES Construction General Permit.
- ☐ The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- ☐ The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

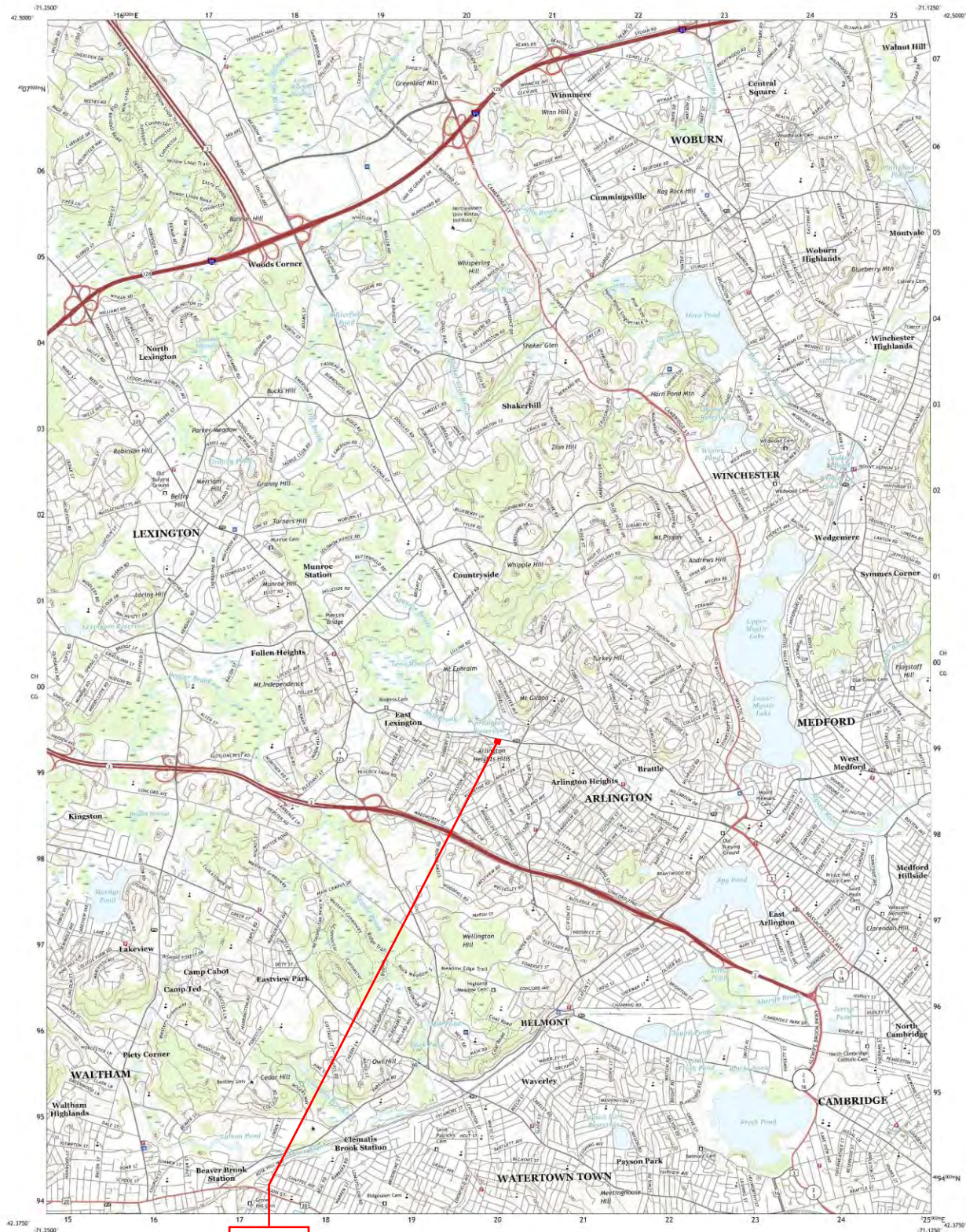
- ☒ The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - ☒ Name of the stormwater management system owners;
 - ☒ Party responsible for operation and maintenance;
 - ☒ Schedule for implementation of routine and non-routine maintenance tasks;
 - ☐ Plan showing the location of all stormwater BMPs maintenance access areas;
 - ☐ Description and delineation of public safety features;
 - ☐ Estimated operation and maintenance budget; and
 - ☒ Operation and Maintenance Log Form.
- ☐ The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - ☐ A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - ☐ A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- ☐ The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- ☐ An Illicit Discharge Compliance Statement is attached;
- ☒ NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

APPENDIX B: PROJECT LOCATION MAPS

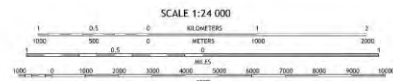
- USGS MAP
- FEMA FIRMETTE



Produced by the United States Geological Survey

North American Datum of 1983 (NAD 83)
World Geodetic System of 1984 (WGS 84) Projection and
100-meter grid interval. Contour interval, 10 feet.
This map is not a legal document. Boundaries may be
inaccurate. For more information, please contact the
appropriate local government. Boundaries may not be shown. Obtain permission before
entering private lands.

Imagery: Aerial, July 2016 - September 2016
Base: U.S. Census Bureau, 2010
Roads: National Highway Inventory, 2010
Contours: National Hydrographic Survey, 2008 - 2010
Boundaries: Multiple sources, National Planning Database, 2008 - 2010
Hydrology: Multiple sources, National Planning Database, 2008 - 2010
Wetlands: FWS National Wetlands Inventory 1991 - 1995

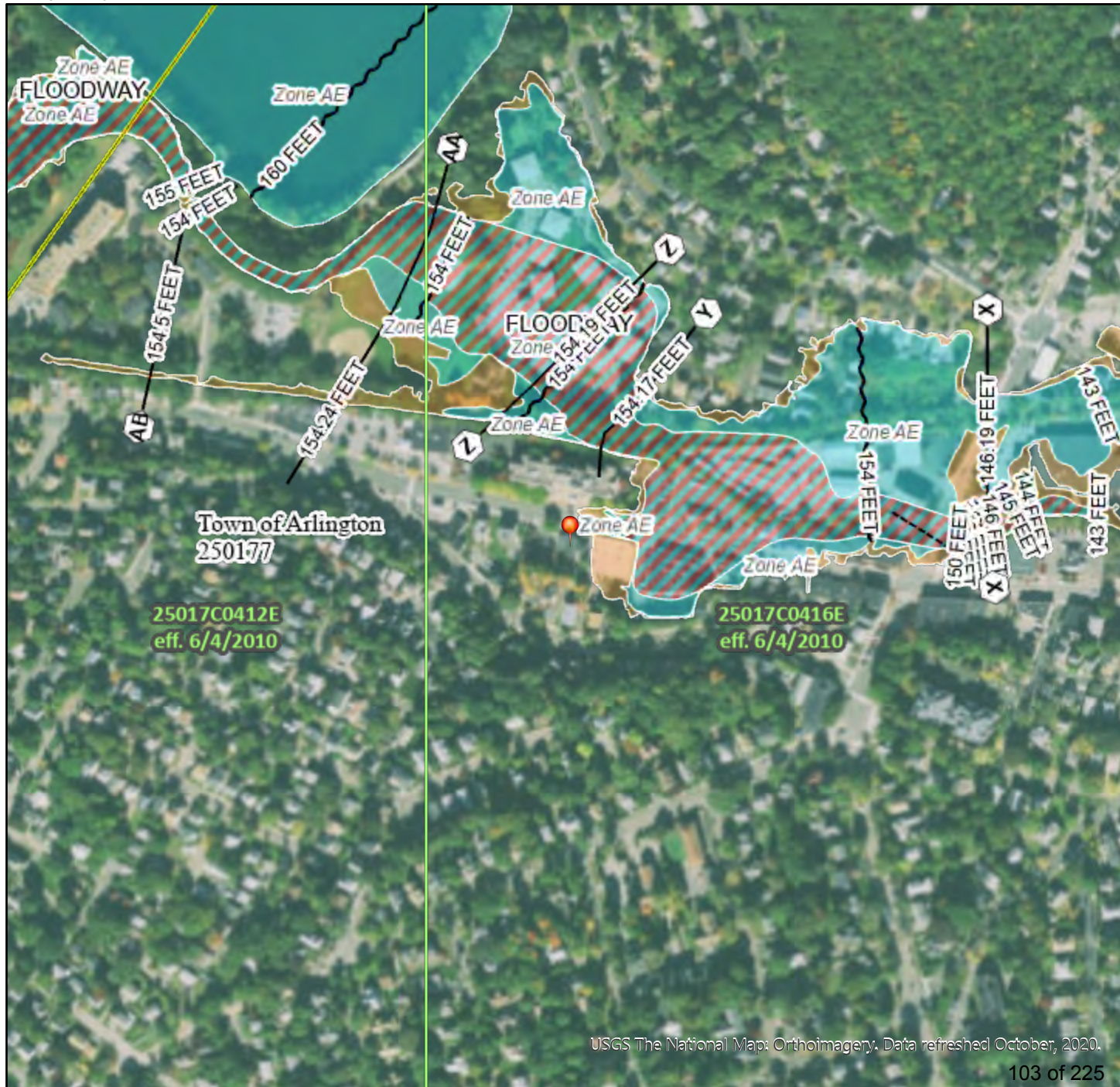


LEXINGTON, MA
2018

National Flood Hazard Layer FIRMette



71°11'29"W 42°25'42"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/29/2020 at 9:32 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

USGS The National Map: Orthoimagery. Data refreshed October, 2020.

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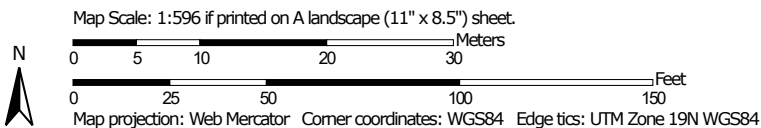
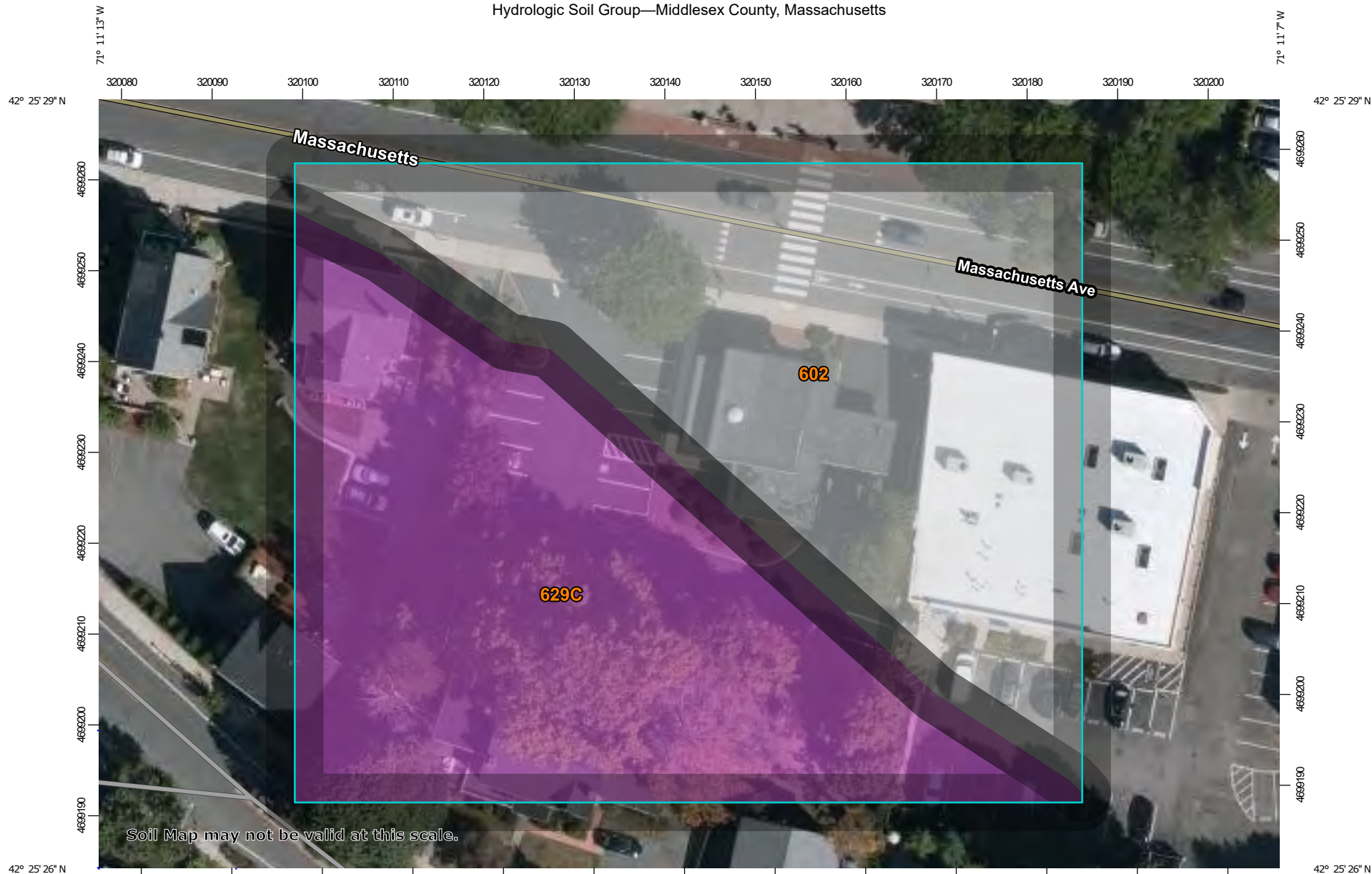
71°10'51"W 42°25'15"N

0 250 500 1,000 1,500 2,000 Feet 1:6,000

APPENDIX C: SOIL AND WETLAND INFORMATION

- *NCRS CUSTOM SOIL RESOURCE REPORT*
- *SOIL TESTING RESULTS*









Hydrologic Soil Group—Middlesex County, Massachusetts



MAP LEGEND**Area of Interest (AOI)**
 Area of Interest (AOI)
Soils**Soil Rating Polygons**





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available


Soil Rating Lines






-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available


Soil Rating Points

-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available

Water Features
 Streams and Canals
Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background
 Aerial Photography
MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Middlesex County, Massachusetts
Survey Area Data: Version 20, Jun 9, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2019—Oct 5, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
602	Urban land		0.8	50.4%
629C	Canton-Charlton-Urban land complex, 3 to 15 percent slopes	A	0.8	49.6%
Totals for Area of Interest			1.5	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

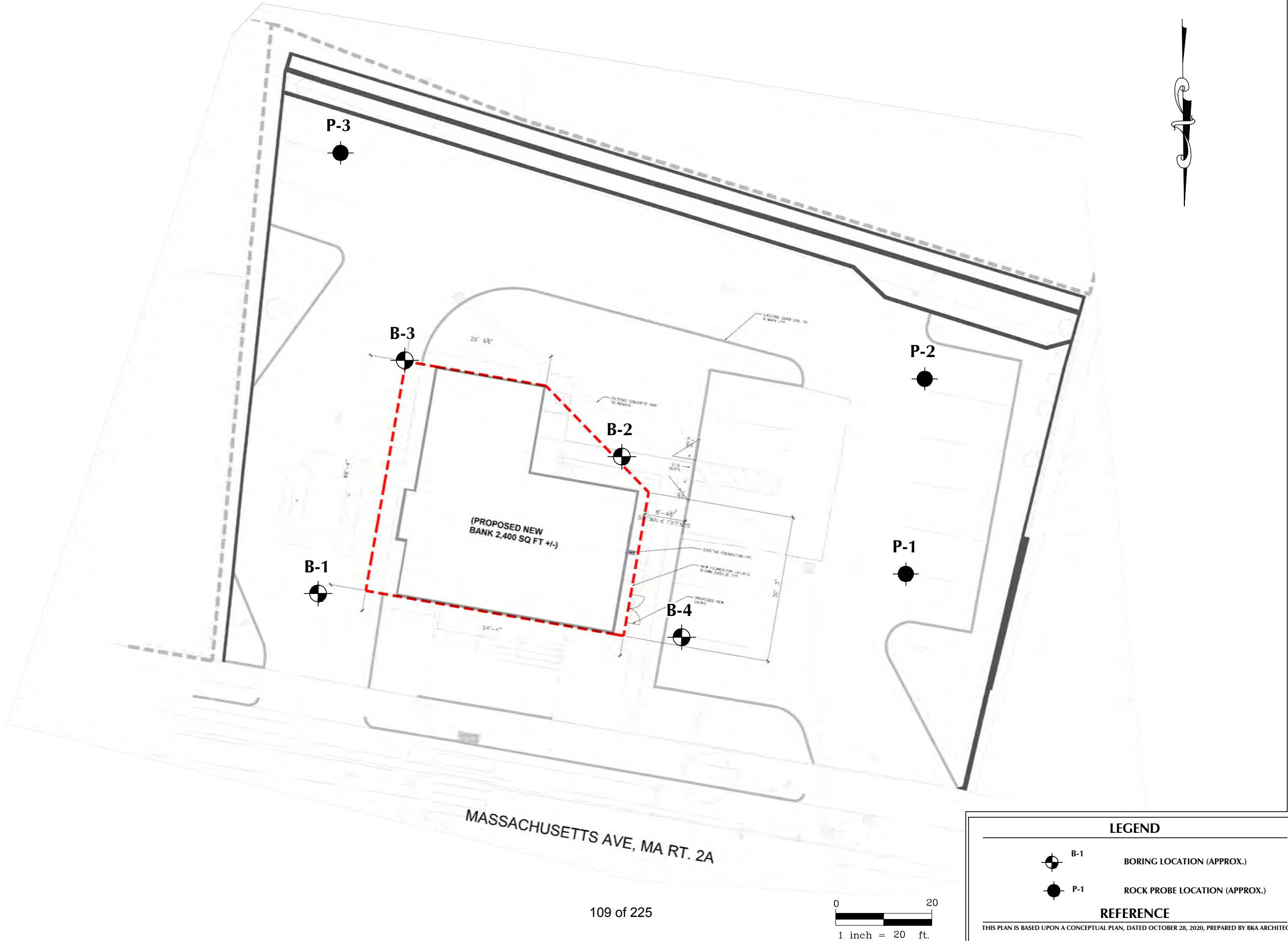
Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

N: \\Job Folders\\2020\\201746000\\Drawings and Plans\\GM2017460.000.dwg



**WHITESTONE
ASSOCIATES, INC.**

Environmental & Geotechnical Engineers & Consultants

16 OLD FORGE ROAD, SUITE A, ROCKY HILL, CT 06067
860.726.7889 WHITESTONEASSOC.COM

DRAWING TITLE:
BORING LOCATION PLAN

CLIENT:
1420 MASSACHUSETTS AVENUE, LLC
c/o BIERBRIER DEVELOPMENT

PROJECT:
PROPOSED CITIZENS BANK
1416 - 1420 MASSACHUSETTS AVENUE
ARLINGTON, MIDDLESEX COUNTY, MASSACHUSETTS

PROJECT #: GM2017460.000	
DESIGNED BY: MR	PROJ. MGR.: RR
DATE: 11/24/20	FIGURE: 1
SCALE: 1" = 20'	

APPENDIX A

Records of Subsurface Exploration

RECORD OF SUBSURFACE EXPLORATION

 Boring No.: **B-1**

 Page 1 of 1

Project: Proposed Citizens Bank Rebuild			WAI Project No.: GM2017460.000		
Location: 1416 - 1420 Massachusetts Avenue, Arlington, Middlesex County, Massachusetts			Client: 1420 Massachusetts Avenue, LLC		
Surface Elevation: ± <u>NS</u> feet above NAVD88		Date Started: <u>11/3/2020</u>		Water Depth Elevation	
Termination Depth: <u>22.0</u> feet bgs		Date Completed: <u>11/3/2020</u>		Cave-In Depth Elevation	
Proposed Location: <u>Building</u>		Logged By: <u>TU</u>		During: <u>10.0</u> <u>--</u> ▼	
Drill / Test Method: <u>HSA / SPT</u>		Contractor: <u>SE</u>		At Completion: <u>--</u> <u>--</u> ▼	
<u>Autohammer</u>		Equipment: <u>Mobile B-57</u>		24 Hours: <u>--</u> <u>--</u> ▼	

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	No	Type	Blows Per 6"	Rec. (in.)	N	(feet)			
						0.0	PAVEMENT	4.5" Asphalt	
0 - 2	S-1	X	12 - 14 - 13 - 10	8	27		EXISTING FILL	Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (FILL)	
2 - 4	S-2	X	25 - 18 - 7 - 9	6	25			As Above (FILL)	
						5.0			
5 - 7	S-3	X	2 - 3 - 13 - 49	4	16	6.0	GLACIO- FLUVIAL DEPOSIT	As Above, Loose (FILL)	
								Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (SP-SM)	
7 - 9	S-4	X	20 - 19 - 24 - 21	14	43			As Above, Dense (SP-SM)	
						10.0			
10 - 12	S-5	X	11 - 10 - 12 - 13	12	22		GLACIAL TILL	As Above, Medium Dense (SP-SM)	
						15.0			
15 - 17	S-6	X	22 - 26 - 27 - 31	16	53			Brown, Very Dense, Silty Sand with Gravel (SM)	
						20.0			
20 - 22	S-7	X	12 - 21 - 37 - 40	10	58			As Above (SM)	
						25.0			
								Boring Log B-1 Terminated at a Depth of 22.0 Feet Below Ground Surface.	







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NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

 Boring No.: **B-2**

 Page 1 of 1

Project: Proposed Citizens Bank Rebuild		WAI Project No.: GM2017460.000	
Location: 1416 - 1420 Massachusetts Avenue, Arlington, Middlesex County, Massachusetts		Client: 1420 Massachusetts Avenue, LLC	
Surface Elevation: ± <u>NS</u> feet above NAVD88	Date Started: <u>11/3/2020</u>	Water Depth Elevation (feet bgs) (ft NAVD88)	Cave-In Depth Elevation (feet bgs) (ft NAVD88)
Termination Depth: <u>20.0</u> feet bgs	Date Completed: <u>11/3/2020</u>	During: <u>10.0</u> -- 	At Completion: -- -- 
Proposed Location: <u>Building</u>	Logged By: <u>TU</u>	At Completion: -- -- 	At Completion: -- -- 
Drill / Test Method: <u>HSA / SPT</u>	Contractor: <u>SE</u>	24 Hours: -- -- 	24 Hours: -- -- 
<u>Autohammer</u>	Equipment: <u>Mobile B-57</u>		

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	No	Type	Blows Per 6"	Rec. (in.)	N	(feet)			
						0.0	TS	6" Mulch	
0 - 2	S-1		3 - 8 - 13 - 10	12	21		EXISTING FILL	Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (FILL)	
2 - 4	S-2		17 - 17 - 8 - 4	5	25			As Above (FILL)	
						4.0			
						5.0			
5 - 7	S-3		13 - 15 - 5 - 6	7	20		GLACIO- FLUVIAL DEPOSIT	Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (SP-SM)	
7 - 9	S-4		7 - 6 - 6 - 6	8	12			As Above (SP-SM)	
						10.0		As Above (SP-SM)	
10 - 12	S-5		10 - 12 - 8 - 9	7	20				
						15.0			
15 - 17	S-6		3 - 5 - 5 - 7	10	10			As Above, Loose to Medium Dense (SP-SM)	
						20.0			
						25.0			
								Boring Log B-2 Terminated upon Auger Refusal at a Depth of 20.0 fbg.	

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NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

 Boring No.: **B-4**

 Page 1 of 1

Project: Proposed Citizens Bank Rebuild			WAI Project No.: GM2017460.000		
Location: 1416 - 1420 Massachusetts Avenue, Arlington, Middlesex County, Massachusetts			Client: 1420 Massachusetts Avenue, LLC		
Surface Elevation: ± <u>NS</u> feet above NAVD88		Date Started: <u>11/11/2020</u>		Water Depth Elevation	
Termination Depth: <u>12.5</u> feet bgs		Date Completed: <u>11/11/2020</u>		(feet bgs) (ft NAVD88)	
Proposed Location: <u>Building</u>		Logged By: <u>TU</u>		During: <u>10.0</u> -- ▼	
Drill / Test Method: <u>HSA / SPT</u>		Contractor: <u>SE</u>		At Completion: -- -- ▼	
<u>Autohammer</u>		Equipment: <u>Mobile B-57</u>		24 Hours: -- -- ▼	
				At Completion: -- -- ▼	
				24 Hours: -- -- ▼	

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	No	Type	Blows Per 6"	Rec. (in.)	N	(feet)			
						0.0	PAVEMENT	4.5" Asphalt	
0 - 2	S-1		7 - 19 - 20 - 28	15	39		EXISTING FILL	Brown, Dense, Poorly Graded Sand with Silt and Gravel (FILL)	
2 - 4	S-2		21 - 21 - 24 - 21	10	45			As Above (FILL)	
						4.0			
						5.0			
5 - 7	S-3		12 - 28 - 22 - 32	9	50		GLACIO-FLUVIAL DEPOSIT	Brown, Dense to Very Dense, Poorly Graded Sand with Silt and Gravel (SP-SM)	
7 - 9	S-4		19 - 18 - 32 - 23	15	50			As Above (SP-SM)	
						10.0			
10 - 12	S-5		7 - 17 - 9 - 9	9	26			As Above, Medium Dense (SP-SM)	
						15.0			
						20.0			
						25.0			
								Boring Log B-4 Terminated upon Auger Refusal at a Depth of 12.5 fbs.	

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NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

 Probe No.: **P-1**

 Page **1** of **1**

Project: Proposed Citizens Bank Rebuild			WAI Project No.: GM2017460.000		
Location: 1416 - 1420 Massachusetts Avenue, Arlington, Middlesex County, Massachusetts			Client: 1420 Massachusetts Avenue, LLC		
Surface Elevation: ± <u>NS</u> feet above NAVD88		Date Started: <u>11/11/2020</u>		Water Depth Elevation	
Termination Depth: <u>19.5</u> feet bgs		Date Completed: <u>11/11/2020</u>		Cave-In Depth Elevation	
Proposed Location: <u>Parking</u>		Logged By: <u>TU</u>		During: <u>--</u> <u>--</u> ▼	
Drill / Test Method: <u>Auger Probe / --</u>		Contractor: <u>SE</u>		At Completion: <u>--</u> <u>--</u> ▼	
		Equipment: <u>Mobile B-57</u>		24 Hours: <u>--</u> <u>--</u> ▼	

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	No	Type	Blows Per 6"	Rec. (in.)	N	(feet)			
						0.0			
						5.0			
						10.0			
						15.0			
						20.0		Probe Log P-1 Terminated upon Auger Refusal at a Depth of 19.5 fbgs.	
						25.0			

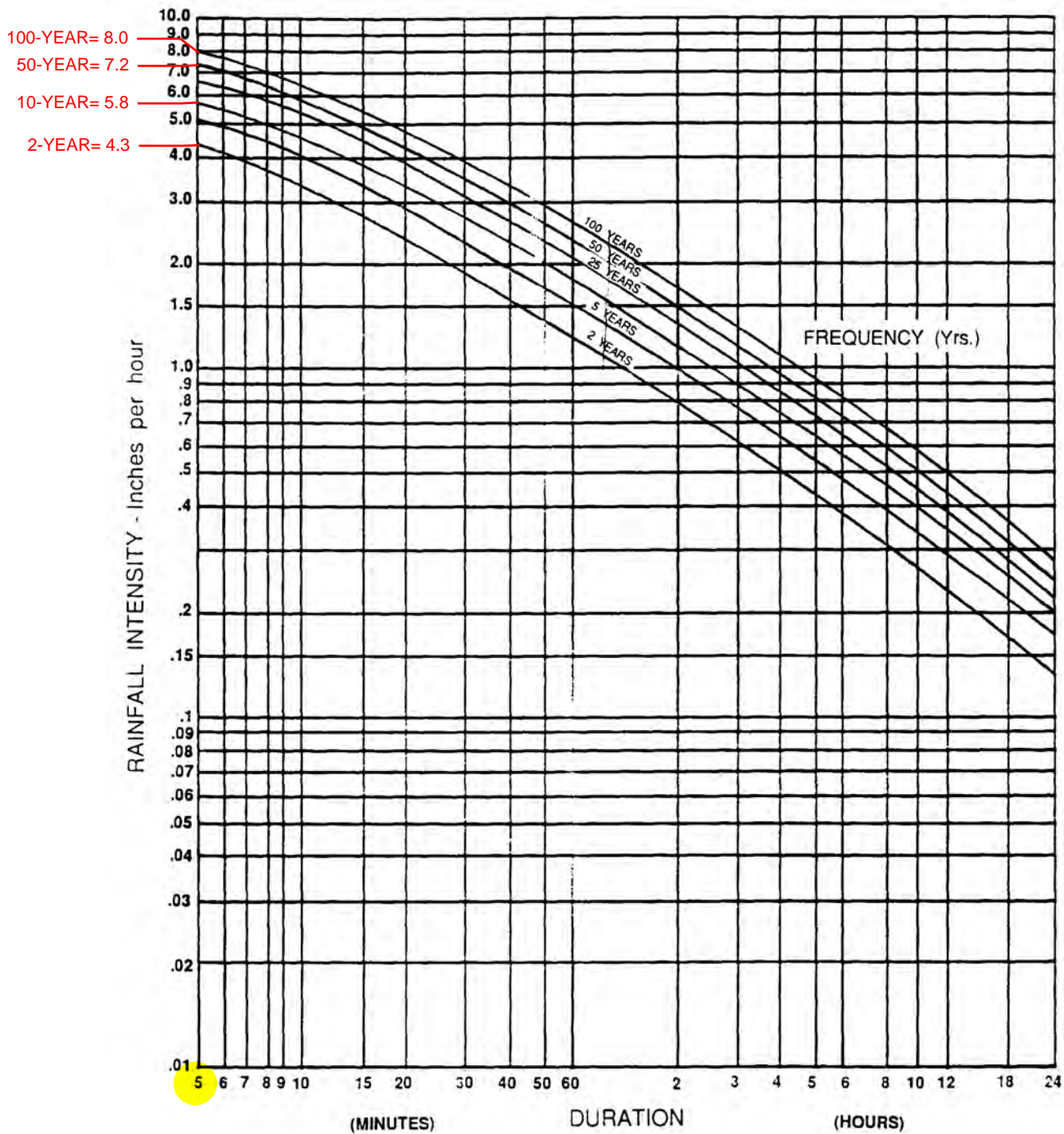
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APPENDIX D: RAINFALL DATA

➤ **INTENSITY-DURATION-FREQUENCY CURVE**

Exhibit 8-14

Intensity - Duration - Frequency Curve for Worcester, MA



Source: TR55 - Urban Hydrology for Small Wetlands, NRCS

APPENDIX E: OPERATION AND MAINTENANCE

- *STORMWATER OPERATION AND MAINTENANCE PLAN*
- *INSPECTION REPORT*
- *INSPECTION AND MAINTENANCE LOG FORM*
- *LONG-TERM POLLUTION PREVENTION PLAN*
- *ILLICIT DISCHARGE STATEMENT*
- *SPILL PREVENTION*

STORMWATER OPERATION AND MAINTENANCE PLAN

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY DURING CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY POST CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

Construction Phase

During the construction phase, all erosion control devices and measures shall be maintained in accordance with the final record plans, local/state approvals and conditions, the EPA Construction General Permit and the Stormwater Pollution Prevention Plan (SWPPP). Additionally, the maintenance of all erosion / siltation control measures during construction shall be the responsibility of the general contractor. Contact information of the OWNER and CONTRACTOR shall be listed in the SWPPP for this site. The SWPPP also includes information regarding construction period allowable and illicit discharges, housekeeping and emergency response procedures. Upon proper notice to the property owner, the Town/City or its authorized designee shall be allowed to enter the property at a reasonable time and in a reasonable manner for the purposes of inspection.

Post Development Controls

Once construction is completed, the post development stormwater controls are to be operated and maintained in compliance with the following permanent procedures (note that the continued implementation of these procedures shall be the responsibility of the Owner or its assignee):

1. Parking lots and on-site driveways: Sweep at least four (4) times per year and on a more frequent basis depending on sanding operations. All resulting sweepings shall be collected and properly disposed of offsite in accordance with MADEP and other applicable requirements.
2. Catch basins, manholes and piping: Inspect four (4) times per year and at the end of foliage and snow-removal seasons. These features shall be cleaned four (4) times per year. or whenever the depth of deposits is greater than or equal to one half the depth from the bottom of the invert of the lowest pipe in the catch basin or underground system. Accumulated sediment and hydrocarbons present must be removed and properly disposed of off site in accordance with MADEP and other applicable requirements.

STORMWATER MANAGEMENT SYSTEM
POST-CONSTRUCTION INSPECTION REPORT

LOCATION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

NAME OF INSPECTOR:	INSPECTION DATE:
Note Condition of the Following (sediment depth, debris, standing water, damage, etc.):	
Catch Basins:	
Discharge Points/ Flared End Sections / Rip Rap:	
Other:	
Note Recommended Actions to be taken on the Following (sediment and/or debris removal, repairs, etc.):	
Catch Basins:	

Discharge Points / Rip Rap:

Other:

Other:

Comments:

STORMWATER INSPECTION AND MAINTENANCE LOG FORM

Bierbrier Development, Inc.

1420 Massachusetts Avenue – Arlington, MA

[illegible]

LONG-TERM POLLUTION PREVENTION PLAN

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY DURING CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY POST CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

For this site, the Long-Term Pollution Prevention Plan will consist of the following:

- No outdoor maintenance or washing of vehicles allowed.
- The property owner shall be responsible for “good housekeeping” including proper periodic maintenance of building and pavement areas, curbing, landscaping, etc.
- Proper storage and removal of solid waste (dumpsters).
- Sweeping of driveways a minimum of twice per year with a commercial cleaning unit. Any sediment removed shall be disposed of in accordance with applicable local and state requirements.
- Regular inspections and maintenance of Stormwater Management System as noted in the “O&M Plan”.
- Snow removal shall be the responsibility of the property owner. Snow shall not be plowed, dumped and/or placed in forebays, infiltration basins or similar stormwater controls. Salting and/or sanding of pavement / walkway areas during winter conditions shall only be done in accordance with all state/local requirements and approvals.

OPERATON AND MAINTENANCE TRAINING PROGRAM

The Owner will coordinate an annual in-house training session to discuss the Operations and Maintenance Plan, the Long-Term Pollution Prevention Plan, and the Spill Prevention Plan and response procedures. Annual training will include the following:

Discuss the Operations and Maintenance Plan

- Explain the general operations of the stormwater management system and its BMPs
- Identify potential sources of stormwater pollution and measures / methods of reducing or eliminating that pollution
- Emphasize good housekeeping measures

Discuss the Spill Prevention and Response Procedures

- Explain the process in the event of a spill
- Identify potential sources of spills and procedures for cleanup and /or reporting and notification
- Complete a yearly inventory or Materials Safety Data sheets of all tenants and confirm that no potentially harmful chemicals are in use.
- Trash and other debris shall be removed from all areas of the site at least twice yearly.
- In no case shall snow be disposed of or stored in resource areas (wetlands, floodplain, streams or other water bodies).
- If necessary, stockpiled snow will be removed from the Site and disposed of at an off-site location in accordance with all local, state and federal regulations.

ILLICIT DISCHARGE STATEMENT

Certain types of non-stormwater discharges are allowed under the U.S. Environmental Protection Agency Construction General Permit. These types of discharges will be allowed under the conditions that no pollutants will be allowed to come in contact with the water prior to or after its discharge. The control measures which have been outlined previously in this LTPPP will be strictly followed to ensure that no contamination of these non-storm water discharges takes place. Any existing illicit discharges, if discovered during the course of the work, will be reported to MassDEP and the local DPW, as applicable, to be addressed in accordance with their respective policies. No illicit discharges will be allowed in conjunction with the proposed improvements.

Duly Acknowledged:

Name & Title

SPILL PREVENTION AND RESPONSE PROCEDURES

(POST CONSTRUCTION)

In order to prevent or minimize the potential for a spill of Hazardous Substances or Oil or come into contact with stormwater, the following steps will be implemented:

1. All Hazardous Substances or Oil (such as pesticides, petroleum products, fertilizers, detergents, acids, paints, paint solvents, cleaning solvents, etc.) will be stored in a secure location, with their lids on, preferably under cover, when not in use.
2. The minimum practical quantity of all such materials will be kept on site.
3. A spill control and containment kit (containing, for example, absorbent materials, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided on site.
4. Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be trained regarding these procedures and the location of the information and cleanup supplies.
5. It is the OWNER's responsibility to ensure that all Hazardous Waste on site is disposed of properly by a licensed hazardous material disposal company. The OWNER is responsible for not exceeding Hazardous Waste storage requirements mandated by the EPA or state and local authorities.

In the event of a spill of Hazardous Substances or Oil, the following procedures should be followed:

1. All measures should be taken to contain and abate the spill and to prevent the discharge of the Hazardous Substance or Oil to stormwater or off-site. (The spill area should be kept well ventilated and personnel should wear appropriate protective clothing to prevent injury from contact with the Hazardous Substances.)
2. For spills of less than five (5) gallons of material, proceed with source control and containment, clean-up with absorbent materials or other applicable means unless an imminent hazard or other circumstances dictate that the spill should be treated by a professional emergency response contractor.
3. For spills greater than five (5) gallons of material immediately contact the MADEP at the toll-free 24-hour statewide emergency number: **1-888-304-1133**, the local fire department (**9-1-1**) and an approved emergency response contractor. Provide information on the type of material spilled, the location of the spill, the quantity spilled, and the time of the spill to the emergency response contractor or coordinator, and proceed with prevention, containment and/or clean-up if so desired. (Use the form provided, or similar).
4. If there is a Reportable Quantity (RQ) release, then the National Response Center should be notified immediately at (800) 424-8802; within 14 days a report should be submitted to the EPA regional office describing the release, the date and circumstances of the release and the steps taken to prevent another release. This Pollution Prevention Plan should be updated to reflect any such steps or actions taken and measures to prevent the same from reoccurring.

SPILL PREVENTION CONTROL AND COUNTERMEASURE FORM

***Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA***

Where a release containing a hazardous substance occurs, the following steps shall be taken by the facility manager and/or supervisor:

1. Immediately notify The Auburn Fire Department (at **9-1-1**)
2. All measures must be taken to contain and abate the spill and to prevent the discharge of the pollutant(s) to off-site locations, receiving waters, wetlands and/or resource areas.
3. Notify the Arlington Board of Health at (781) 316-3170 and the Conservation Commission at (781) 316-3012.
4. Provide documentation from licensed contractor showing disposal and cleanup procedures were completed as well as details on chemicals that were spilled to the Town of Arlington Board of Health and Conservation Commission.

Date of spill: _____ Time: _____ Reported By: _____

Weather Conditions: _____

Material Spilled	Location of Spill	Approximate Quantity of Spill (in gallons)	Agency(s) Notified	Date of Notification

Cause of Spill: _____

Measures Taken to Clean up Spill: _____

Type of equipment: _____ Make: _____ Size: _____

License or S/N: _____

Location and Method of Disposal _____

Procedures, method, and precautions instituted to prevent a similar occurrence from recurring: _____

Additional Contact Numbers:

- DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) EMERGENCY PHONE: 1-888-304-1133
- NATIONAL RESPONSE CENTER PHONE: (800) 424-8802
- U.S. ENVIRONMENTAL PROTECTION AGENCY PHONE: (888) 372-7341



Arlington Heights

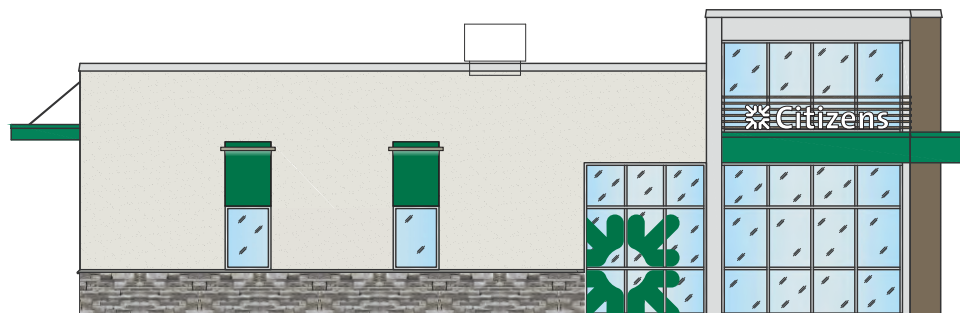


	TABLE OF CONTENTS				VARIANCE		
GENERAL NOTES & PERMIT TIMES	PAGE	SIGN TYPE	SQ.FT.	COLOR	REQUIRED?	EXPLANATION (IF REQD.)	
	2	Site map					
		Massachusetts Avenue					
	3	S1 - ICLL-2-18 - Illum. White channel letters	15.09	White	No		
	4	S3 - ALB-1 - Green awning with light bar	-	Green	No		
	11	S8 - Green window vinyl	-	Green	No		
	7	S9 - DHR-2 - Door hours double doors	-	White	No		
	7	S10 - DH-1 - Door handles	-	Green	No		
		Total Sign Area Requested this Elevation	15.09				
		Right Side (West) Entry Elevation					
	5	S2 - ICLL-2-18 - Illum. White channel letters	15.09	White	Yes		
	6	S4 - ALB-1 - Green awning with light bar	-	Green	No		
		Total Sign Area Requested this Elevation	15.09				
	ELECTRICAL ACCESS		Left Side (East) Drive Thru				
	It is recommend for Electrician to put all exterior signage on a single circuit with a timer or photo-cell to allow for signs to illuminate at night only.	8	S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.	-	Green	No	
8		S6 - ATM-NGP-1 - ATM network panel	-	Gray	No		
10		S7 - ICLL-1-15- Illum. Green Channel letters	10.5	Green	Yes		
		Total Sign Area Requested this Elevation	10.5				
		Freestanding Signage					
12		S11 - D/F Pylon Sign Reface					
13		Code Check					
		Total Sign Area Allowable	40				
		Total Sign Area Requested	40.68				
		Difference	0.68				



2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☒ YES ☐ TBD
BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA
DESIGNER: JER DATE: 1/12/2021 REV:
PATH: O:\Citizens Bank\Site Folders

CONTACTS

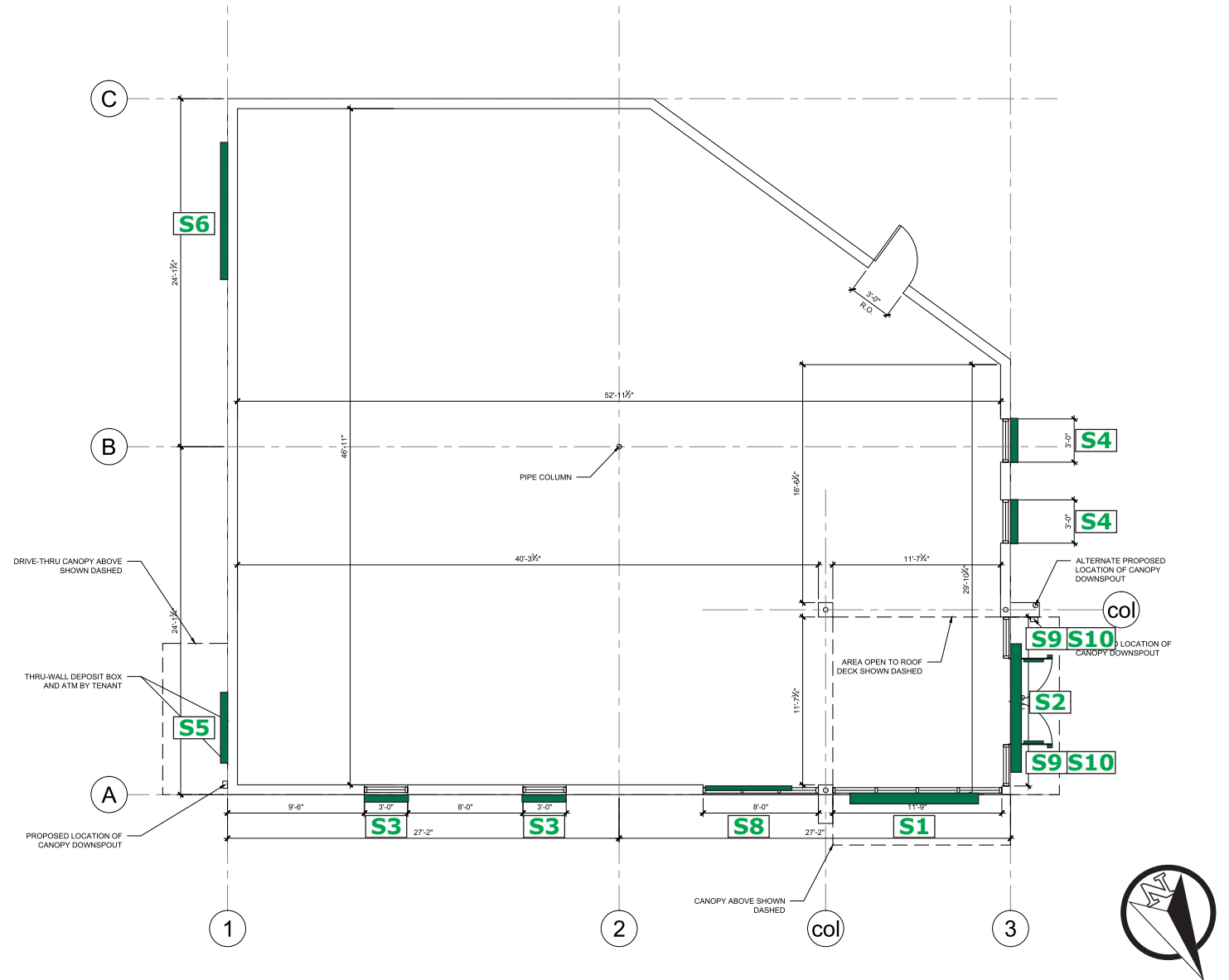
PROJECT MANAGER:
Devin White

CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

APPROVAL STAMP:

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PROPOSED FLOOR PLAN



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www.AGI.net

BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD
BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA
DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights

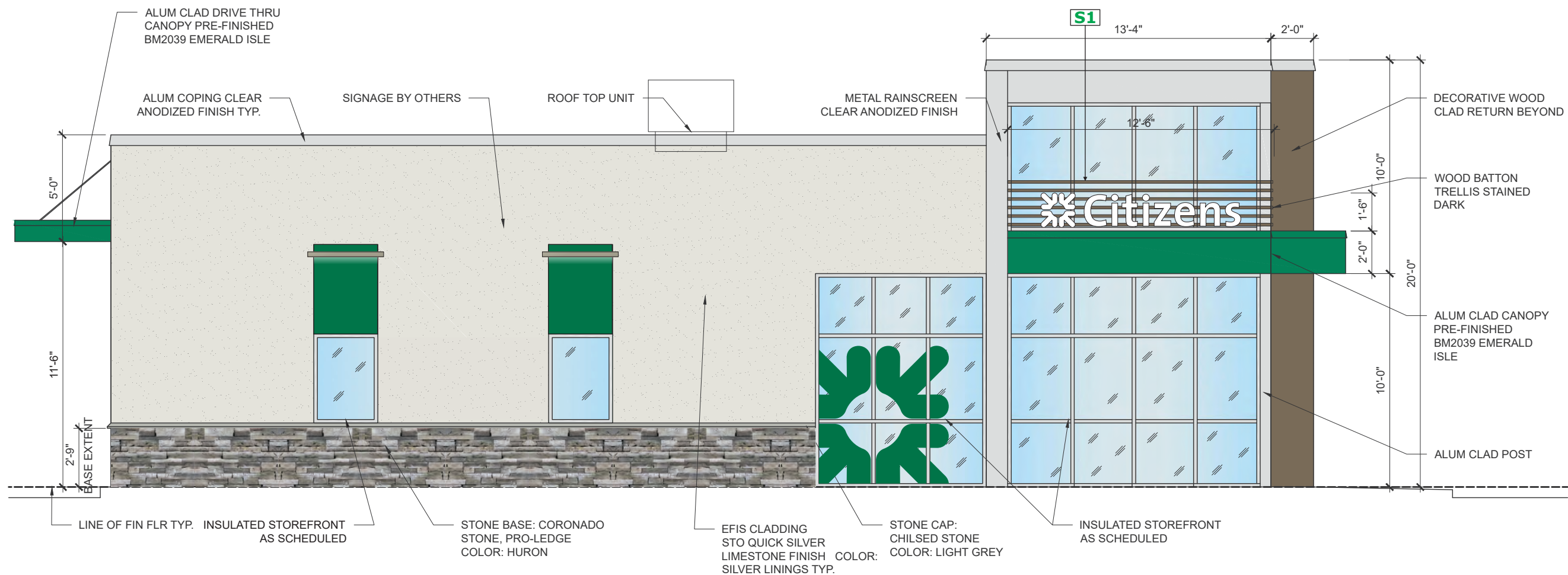
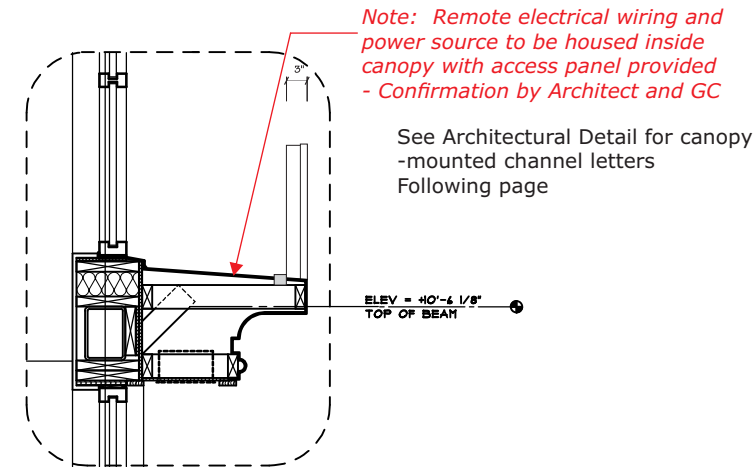
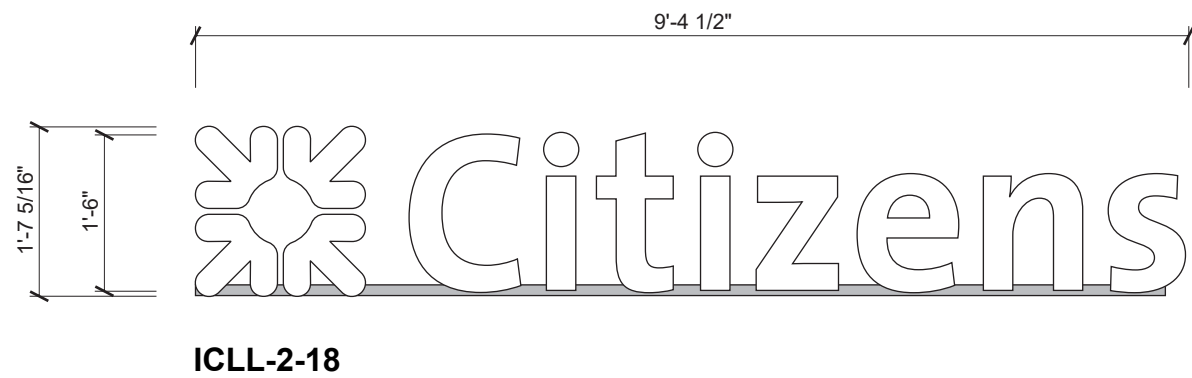
CONTACTS
PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:
CITIZENS BANK DESIGN MANAGER:
132 of 225

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SITE MAP

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S1 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



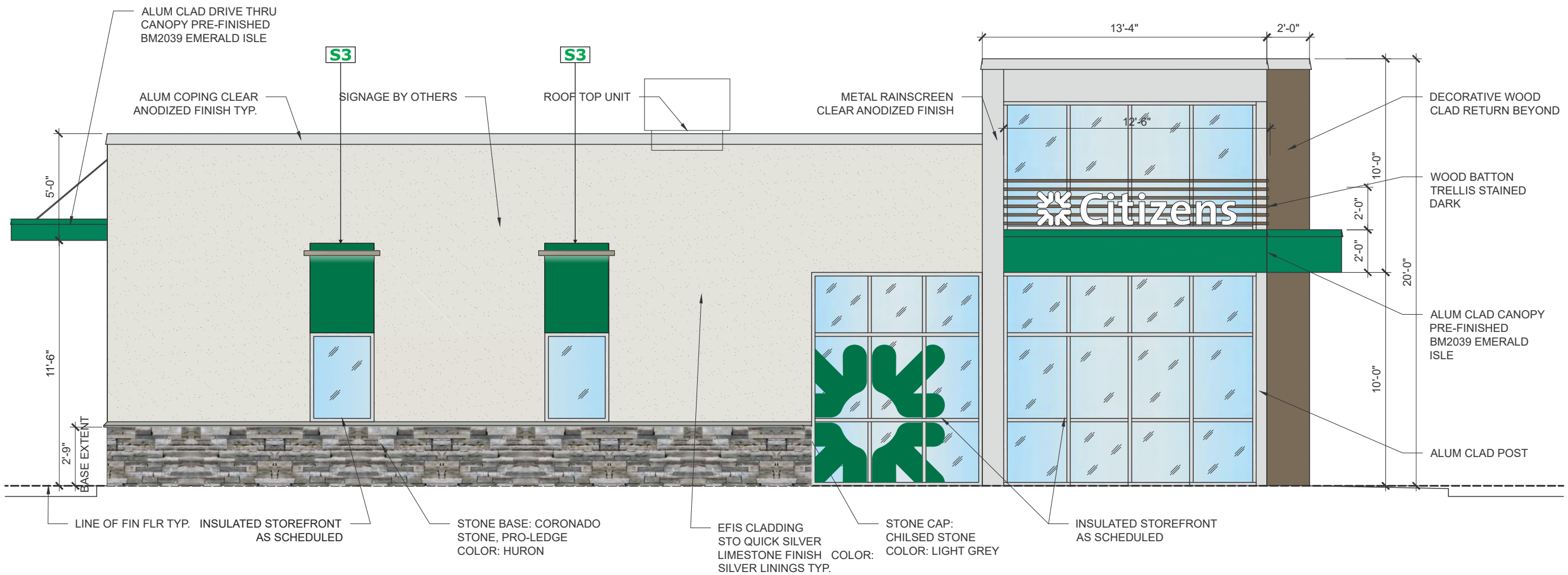
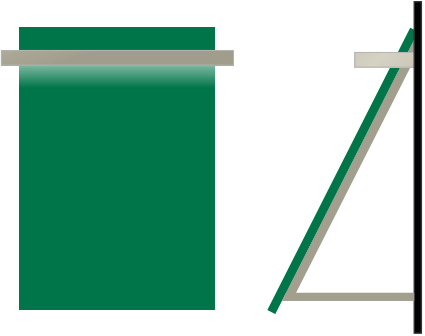
PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)
SCALE: 3/16"=1'-0"

S3 - ALB-1 - Green awning with light bar

Note: Dimensions (±4'-2"H x ±3'-0"W) to be verified

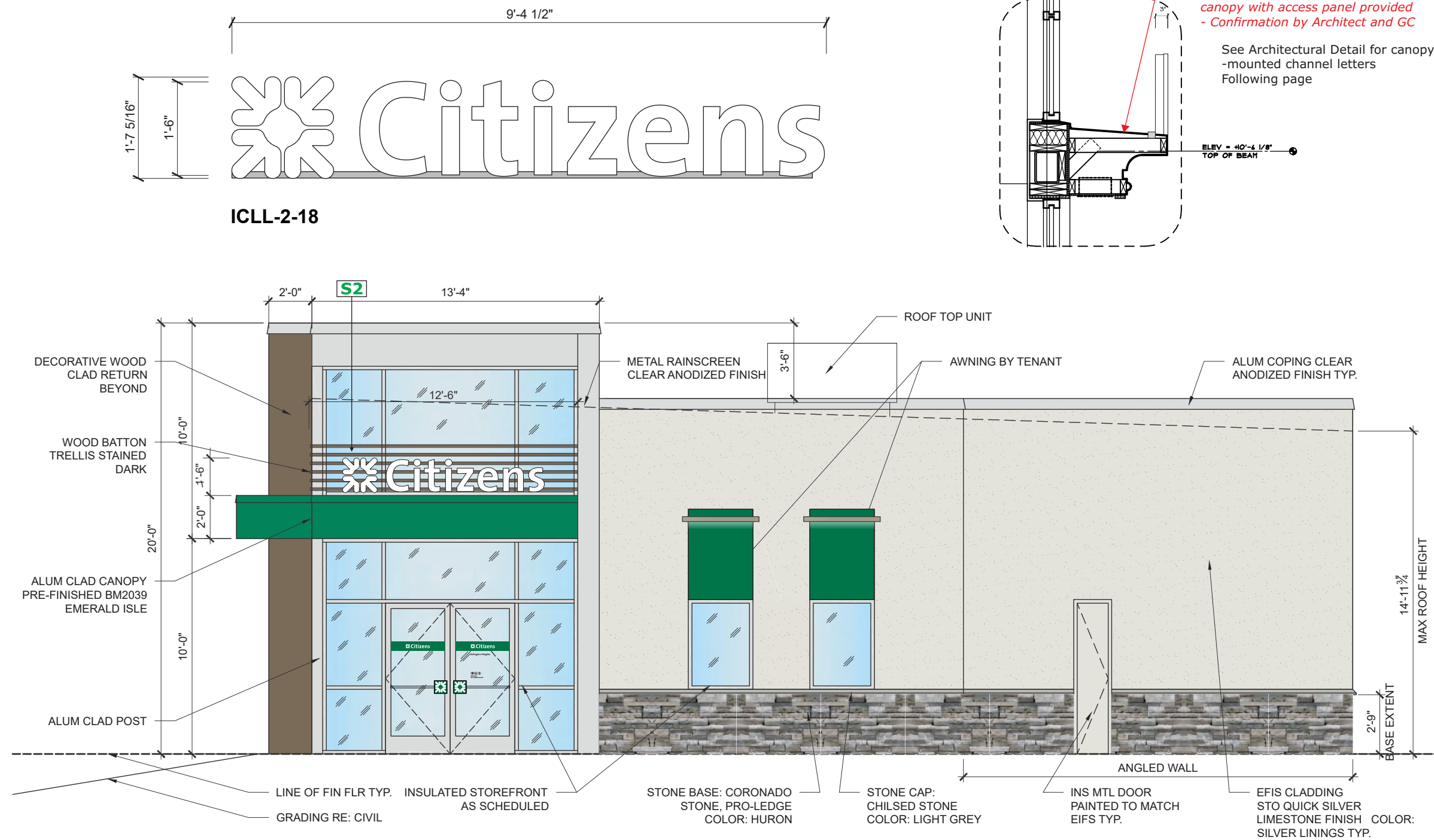
Note: Electrical required 120v @ 3 amps required.

Conduit stub out required for awning light bar by GC.



 **PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)**
SCALE: 3/16"=1'-0"

S2 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.

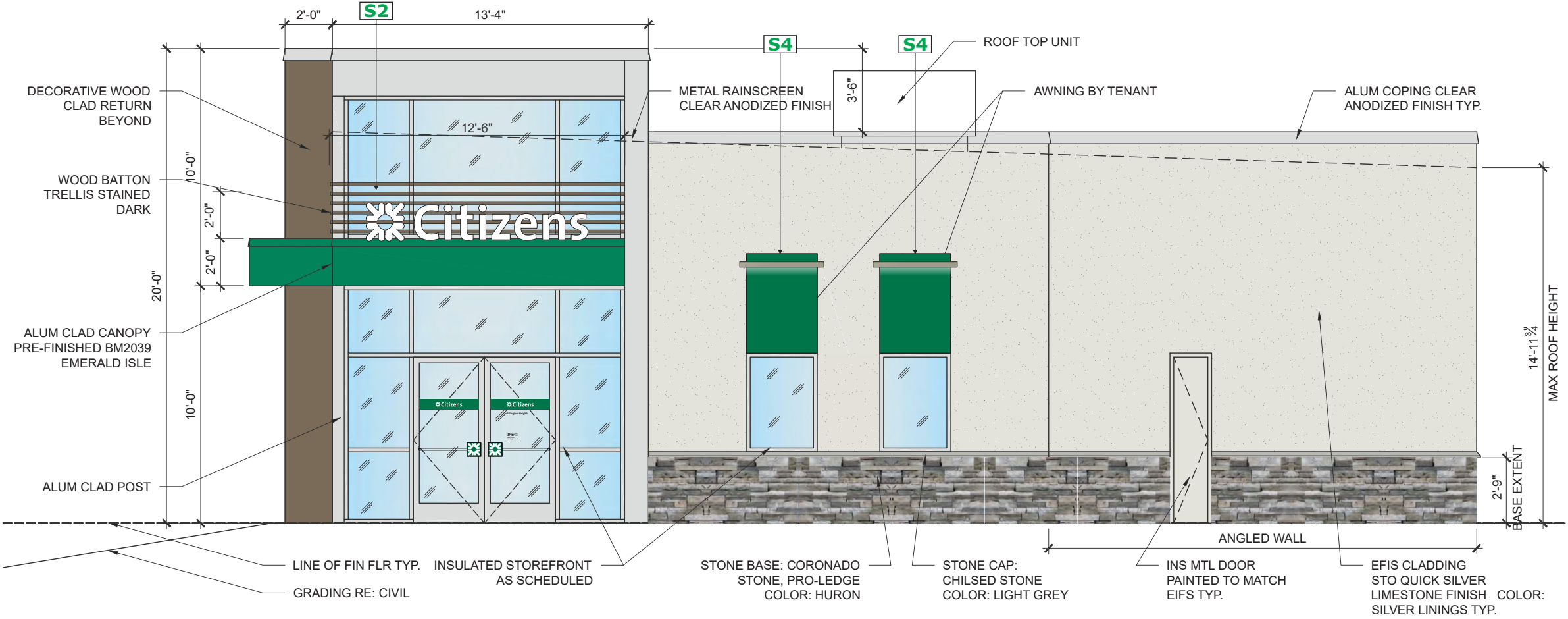
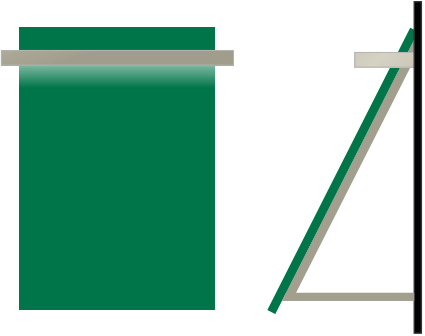


S4 - ALB-1 - Green awning with light bar

Note: Dimensions (±4'-2"H x ±3'-0"W) to be verified

Note: Electrical required 120v @ 3 amps required.

Conduit stub out required for awning light bar by GC.



PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)

SCALE: 3/16"=1'-0"

Note: Lock position is under the handle.



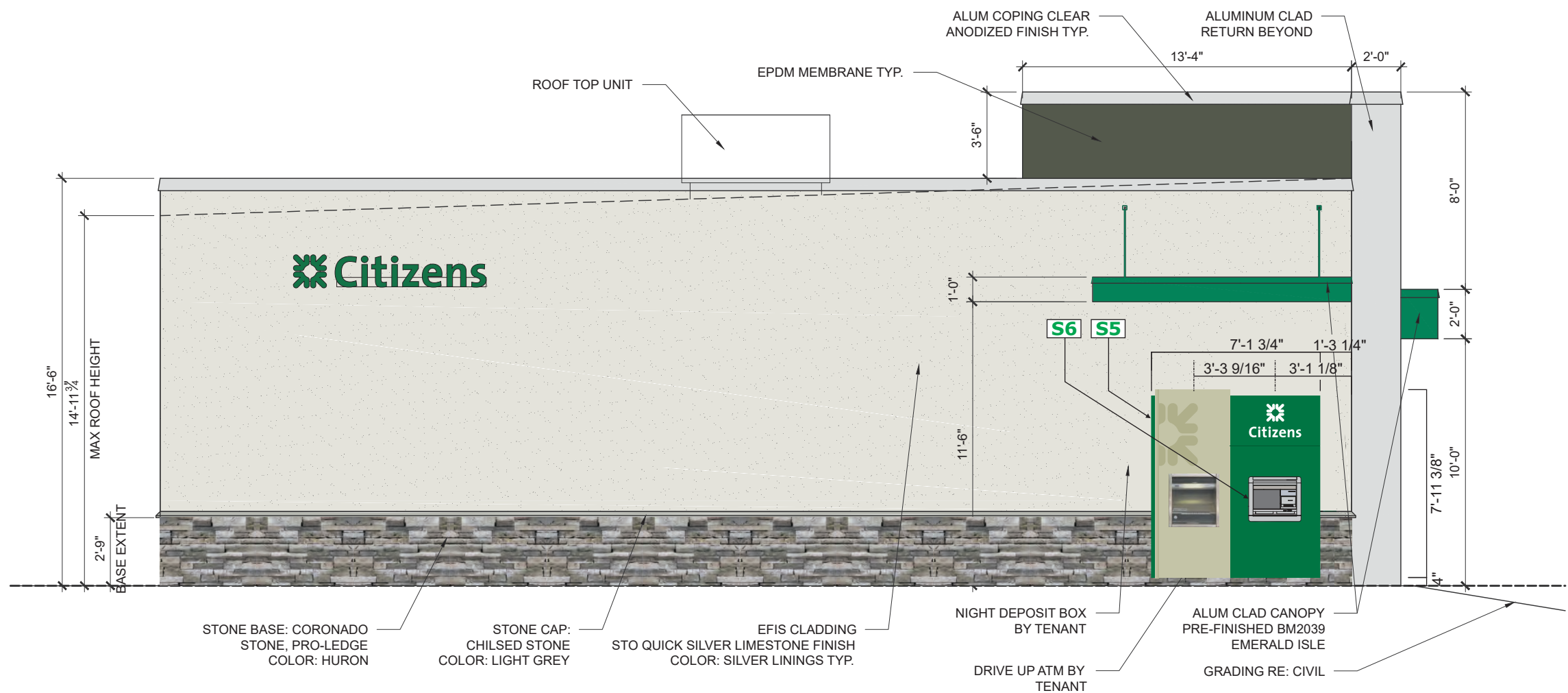
DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights

CITIZENS BANK DESIGN MANAGER:
137 of 225

MARKET STREET

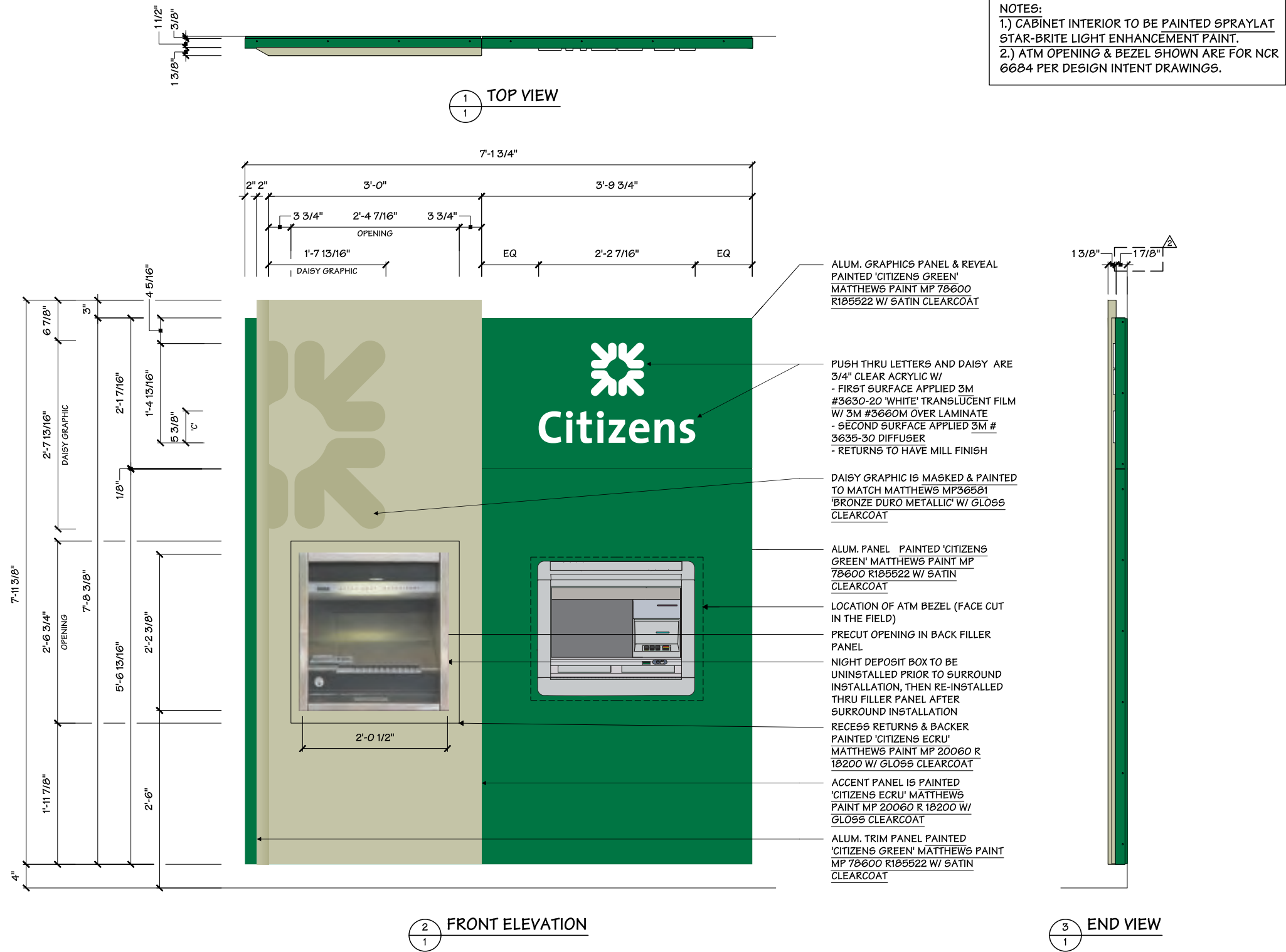
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S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.
S6 - ATM-NGP-1 - ATM network panel
Note: Dimensions and placement of ATM and Night Depository to be confirmed

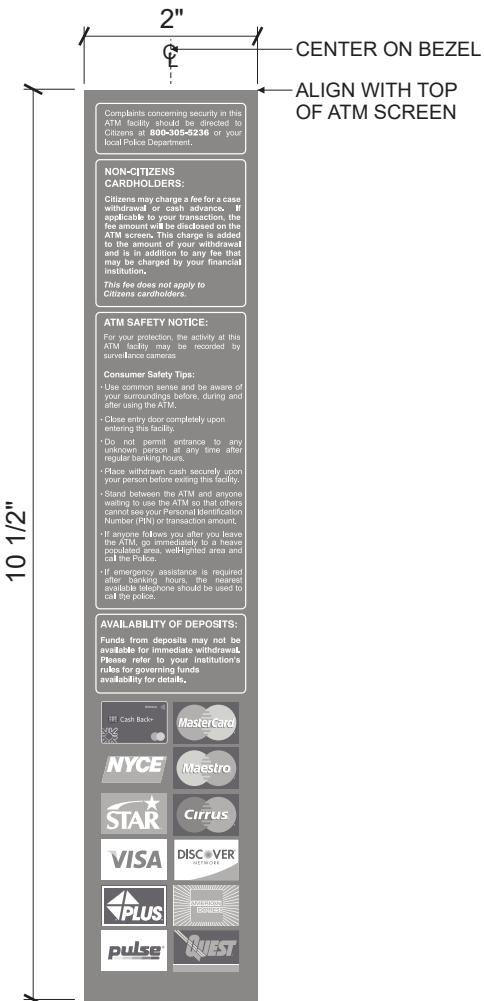


PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)
SCALE: 3/16"=1'-0"

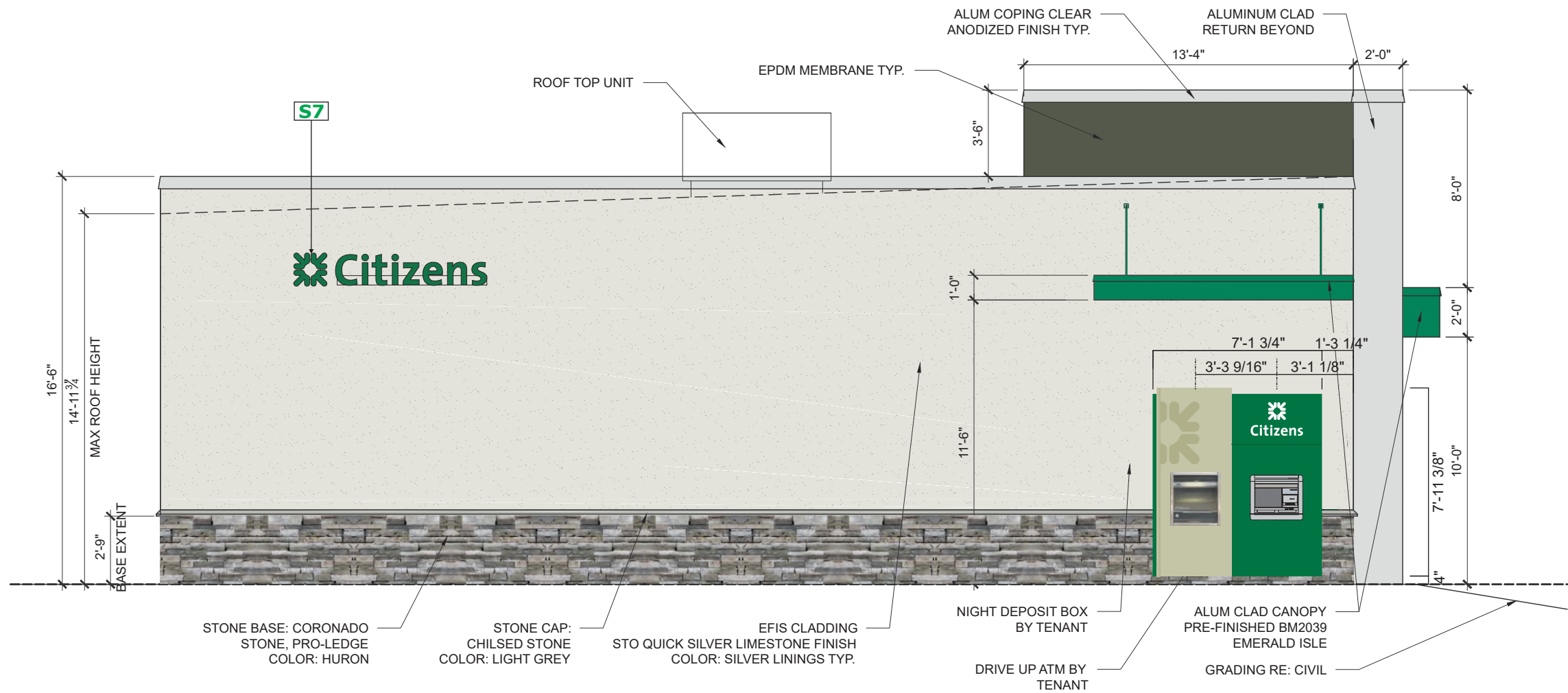
S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.
S6 - ATM-NGP-1 - ATM network panel
Note: Dimensions and placement of ATM and Night Depository to be confirmed



Note: Artwork for Post Birch NGP-1 to be verified by CFG

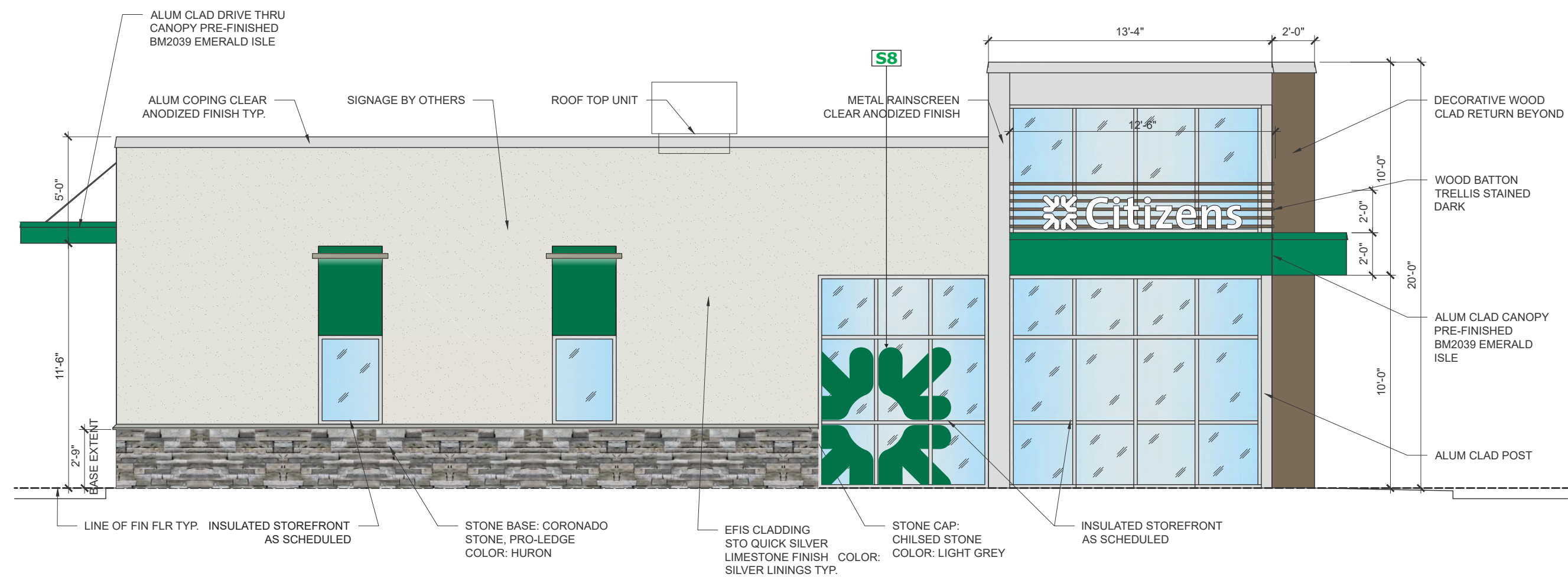


S7 - ICLL-1-15-R - Channel letters, Green - illuminated, Horizontal on raceway 1'-4 1/8" OAH x 7'-9 3/4" OAW, 10.50 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)
SCALE: 3/16"=1'-0"

S8 - Green window vinyl
Note: To be provided and installed by MZ



PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)
SCALE: 3/16" = 1'-0"

S11 - Reface existing double-faced Pylon Sign
Note: Reface only, Dimensions to be determined



PRE-PERMIT SIGN INFO		Property ID:	ARLINGTON -001
A.) Project Name:	Citizens Bank	DATE COMPLETED	1/11/21
B.) Street Address:	1420 Massachusetts Avenue		
C.) Town / City / State / Zip:	Arlington, MA 02476		
D.) Contact for Permit/Zoning:	Jennifer Raitt		
E.) Contact Telephone:	781-316-3090		
F.) Jurisdiction: City/Town:	Town of Arlington	Address:	730 Mass Avenue Annex
or, County of:		City, ST Zip:	Arlington, MA 02476

G.) Zoning Classification for property:	B4 Vehicular Oriented Business District.
H.) Is there a Master Sign Plan?	No MSP was found during research, there may be an MSP in place here, we strongly suggest checking with the
I.) Is a permit required?	Yes.
J.) What documents are required to file for the permit?	Application: https://www.arlingtonma.gov/home/showpublisheddocument?id=1952
K.) How long is the permit process?	3-5 weeks.
are there special reviews involved?	Not indicated during research, however the town reserves the right to request additional review(s) based on
overlay districts?	See above.
city and county review required?	See above.
design review board / ARB / DRB ?	See above.
community association review required?	See above.
L.) What are the fees for a sign permit?	https://www.arlingtonma.gov/departments/inspectional-services/applications-fees-forms/permit-fees
M.) Is engineering needed for wall signs?	May be required based on the scope of work, subject to plan review.
N.) Does engineering require a PE stamp?	See above.
O.) Is landlord approval required?	Yes.
P.) Legal Description Required for permit?	Yes.
Q.) Plat/Site Plan required for permit?	Yes.

ATTACHED SIGNS & WINDOW GRAPHICS	
1.) Formula for calculating wall sign square footage (Max. Sq. Footage - Primary &	Wall signs: Maximum 40 sq. ft. per business.
2.) Sq.Ft allowance for bldg. sides/rear:	
The total sign area for signs on single-tenant or multi-tenant buildings may be placed on any building elevation, subject to the following standards:	
(1) At least 1 sign must be placed above or associated with the building entry;	
(2) The width of the sign shall be no greater than 60% of the width of the building element on which it is displayed;	
(3) Signs shall be placed at least 12 inches or 20% of the width of the building element on which they are mounted, whichever is less, from the sides of the building element;	
(4) Signs shall be placed at least 12 inches or 20% of the height of the building element on which they are mounted, whichever is less, from the top and bottom edge of the building element; and	
(5) Signs shall be placed no higher than the lowest of the following:	
a. 25 ft. above grade;	
b. The bottom of the sill of the first level of windows above the first story; or	
c. The cornice line of the building at the building line.	

3.) How is the sign area calculated?	
Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background.	
Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign.	
Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings.	
Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated.	
Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.	
4.) Total # Wall Signs allowed per building elevation:	Wall signs: Maximum 1 per frontage.
5.) What is the max letter/character height allowed?	Signs shall be placed no higher than the lowest of the following:
6.) Does the ordinance restrict color, design or illumination?	Illumination: Non-illuminated, internally illuminated, or externally illuminated. See
7.) Does window vinyl need to be permitted, if so how much is allowed?	Combined area of permanent and temporary window signs must not exceed
8.) Is the entire graphic calculated or just the company logo and name?	Entire graphic area.

FREESTANDING SIGNS	
1.) Formula for calculating freestanding sign sq. footage (Max Sq Footage- Primary & Secondary signs):	
Monument signs: Maximum 24 sq. ft. The name of a property is included in the area and height limits for freestanding signs.	
2.) # F/S Signs allowed:	Monument signs: Maximum 1 per frontage. Internal illumination allowed: Monument signs: Non-illuminated or
3.) Height Maximum:	Monument signs: Maximum 8 feet to the Clearance from grade to sign: Must be monument signs.
4.) Set-back of sign from right-of-way or property line:	
Monument signs: Minimum 5 feet setback from property line.	
Signs may not be placed on property at any corner formed by intersecting streets, within the triangular area formed between the property lines and a diagonal line joining points on the property lines 25 feet from the point of their intersection, or in the case of rounded property line corners, the triangular area between the tangents to the curve at such corner and a diagonal line joining points on the tangents 25 feet from the point of their intersection.	

DIRECTIONAL SIGNS	
5.) Number Allowed:	Wall sign directional/driveway: Max 3 per lot. Maximum Square Footage: Wall sign directional/driveway: Max. 3 sq. ft. per
6.) Illumination Allowed?	Wall sign directional/driveway: Non-illuminated Maximum Height: Wall sign directional/driveway: Mounting height-
7.) Permit Required?:	Wall sign directional/driveway: Sign permit Customer Logo Allowed: Not stipulated by code, subject to plan review.

TEMPORARY BANNERS

1.) What temporary sign types are allowed?

Allowed Sign Types: A-Frame or Upright Signs; Yard Sign Type I, II, and III; Wall Banners; and Window

2.) What is the max sign size area?

Max. 24 sq. ft. per business; excludes the area of temporary wall banner signs and window signs.

3.) How is the sign area calculated?

Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background.

Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign.

Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings.

Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated.

Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.

4.) Are logos factored into sign area?

Yes.

5.) How many signs per elevation?

Number of Signs: Unlimited, except that the total sign area must not exceed 24 sq. ft. per business.

6.) How long can signs be up?

A temporary sign permit for a wall banner is valid for 60 days beginning with the date of issuance.

7.) Does the ordinance restrict color, design or illumination?

A temporary sign permit is required for the display of temporary wall banner signs. Portable and temporary signs are not counted toward the total allowable sign area or number of permanent signs. Sign placement must not create a hazard for pedestrian or vehicular traffic and must allow for a 4-foot wide sidewalk to comply with the Americans with Disabilities Act.

Signs must be of sufficient weight and durability to withstand wind gusts, storms, etc., for the safety of pedestrians, bicyclists, and vehicles.

Prohibited Elements: Illumination, including flashing, blinking, or rotating lights; animation; reflective materials; and attachments, including balloons, ribbons, loudspeakers, etc.

Temporary wall banner: Signs must be mounted on a building wall or on T-posts or stakes installed 6 inches or less from the wall.

VARIANCE INFORMATION

1.) Variance cost?

\$400.00 and up.

2.) Variance time frame?

2-5 months.

3.) Variance document deadline?

One month prior to meeting.

4.) Variance meeting dates?

https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-

5.) Variance documents required?

https://www.arlingtonma.gov/home/showpublisheddocument?id=24805

6.) How many sets?

7 sets.

7.) Likelihood of variance approval?

35%

DOCUMENTS REQUIRED FOR PERMITS

Scaled Plot plan

☒

☒ Building elevations

☒ Elevation Drawings

Electrical Permit

☒

Installation drawings

☒

☒ Legal description

☐ Sealed engineering drawings

Notice of Commencement

☐

Sign drawings

☒

☒ Photo of existing

☒ Property Manager's Approval

Sign Code: https://www.arlingtonma.gov/home/showpublisheddocument?id=43413

Note: If the Building Inspector determines that a separate electrical or structural permit is required, the applicant shall be notified. The sign permit shall not be issued until all other required permits have been obtained.

Prohibited signs: 1. Bandit signs,
2. Cabinet signs, and
3. Electronic message centers or electronic displays.

Signs with the following display features are prohibited:
1. Animated features which rotate, move, or give the appearance of moving by mechanical, wind, or other means.
2. Lighting devices with intermittent, flashing, rotating, blinking or strobe light illumination, animation, motion picture, or laser or motion picture projection, or any lighting effect creating the illusion of motion, as well as laser or hologram lights.
3. Internally illuminated signs with a directly exposed light source, except for neon incorporated into the design of a permanent window sign.
4. Surfaces that reflect light by means of a glossy, polished, or mirrored surface.

Numerals and letters up to 2 square feet in area used to identify an address are not included in the determination of sign area.

All allowed permanent signs may be non-illuminated, illuminated by internal light fixtures, halo illuminated, or illuminated by external indirect illumination, unless otherwise specified. All temporary signs must be nonilluminated.
1. No sign shall be illuminated between 12:00 AM and 6:00 AM, except signs identifying emergency services such as police and ambulance stations or hospitals and signs on premises open for business during that time.
2. Internally Illuminated Signs:
a. Internally illuminated signs include signs constructed with pan channel letters, preferably without raceways, or internal/indirect halo illuminated channel letters on an unlit or otherwise indistinguishable background on a freestanding sign or building wall.
b. Single-color LED signs are considered internally illuminated signs.
3. Externally Illuminated Signs. Externally illuminated signs must be illuminated only with steady, stationary, fully-shielded light sources directed solely onto the sign without causing glare. The light source for externally illuminated signs must be arranged and shielded to substantially confine all direct light rays to the sign face and away from streets and adjacent properties.
4. Direct illumination is limited to marquee signs; see Section 6.2.5(C)(6) and is limited to the illumination of letters, numbers, symbols and accents on the marquee sign. Exposed lamps may only be animated to create an effect of patterned illusionary movement provided the alternate or sequential activation of the illuminated elements occurs on a cycle that exceeds two seconds.

Neon or single-color LED signs placed in a window count toward the aggregate area for all window signs and must not exceed 25 percent of the area of the window. Any individual neon or single-color LED sign must not exceed four square feet in area. Other uses of neon are prohibited.

Structure and Installation: (1) Any angle iron, bracing, guy wires, or similar features used to support a sign must not be visible to the extent technically feasible.
(2) Where electrical service is provided to freestanding signs or building mounted signs, the service must be placed underground and concealed. Electrical service to building mounted signs, including conduit, housings, and wire, must be concealed or, when necessary, painted to match the surface of the structure upon which they are mounted. A building permit shall be issued prior to installation of any new signs requiring electrical service.
(3) Raceway cabinets shall only be used in building mounted signs when access to the wall behind the sign is not feasible, shall not extend in width and height beyond the area of the sign, and shall match the color of the building to which it is attached. Where a raceway cabinet provides a contrast background to sign copy, the colored area is counted in the total allowable sign area allowed for the site or business. A raceway cabinet is not a cabinet sign.
(4) All permanent signs allowed by this Section must be constructed of durable materials capable of withstanding continuous exposure to the elements and the conditions of a built-up environment and must be permanently attached to the ground, a building or another structure by direct attachment to a rigid wall, frame, or structure.

Monument signs: Landscaping- A landscaped area consisting of shrubs, and/or perennial ground cover plants with a max. spacing of 3 ft. on center is required around the base of the signs. The landscape area must be a min. of 2 sq. ft. for each 1 sq. ft. of sign area.

AGI

2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER:

R/C NUMBER:

REQUIRES VARIANCE: ☐NO ☐YES ☐TBD

BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA

DESIGNER: JER DATE:1/12/2021 REV. DATE: 1/14/2021

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Devin White

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LEED v4 for BD+C: New Construction and Major Renovation

Project Checklist

Project Name:

Citizens Bank Redevelopment - 1420 Mass Ave

Date:

11-Feb-21

Y ? N

Credit Integrative Process

1

0	0	0	Location and Transportation	16
			Credit LEED for Neighborhood Development Location	16
			Credit Sensitive Land Protection	1
Y			Credit High Priority Site	2
Y			Credit Surrounding Density and Diverse Uses	5
Y			Credit Access to Quality Transit	5
Y			Credit Bicycle Facilities	1
			Credit Reduced Parking Footprint	1
			Credit Green Vehicles	1

0	0	0	Sustainable Sites	10
Y			Prereq Construction Activity Pollution Prevention	Required
Y			Credit Site Assessment	1
Y			Credit Site Development - Protect or Restore Habitat	2
Y			Credit Open Space	1
	?		Credit Rainwater Management	3
	?		Credit Heat Island Reduction	2
	?		Credit Light Pollution Reduction	1

0	0	0	Water Efficiency	11
Y			Prereq Outdoor Water Use Reduction	Required
Y			Prereq Indoor Water Use Reduction	Required
Y			Prereq Building-Level Water Metering	Required
			Credit Outdoor Water Use Reduction	2
			Credit Indoor Water Use Reduction	6
			Credit Cooling Tower Water Use	2
Y			Credit Water Metering	1

0	0	0	Energy and Atmosphere	33
Y			Prereq Fundamental Commissioning and Verification	Required
Y			Prereq Minimum Energy Performance	Required
Y			Prereq Building-Level Energy Metering	Required
Y			Prereq Fundamental Refrigerant Management	Required
	?		Credit Enhanced Commissioning	6
	?		Credit Optimize Energy Performance	18
			Credit Advanced Energy Metering	1
			Credit Demand Response	2
			Credit Renewable Energy Production	3
			Credit Enhanced Refrigerant Management	1
			Credit Green Power and Carbon Offsets	2

0	0	0	Materials and Resources	13
Y			Prereq Storage and Collection of Recyclables	Required
Y			Prereq Construction and Demolition Waste Management Planning	Required
	?		Credit Building Life-Cycle Impact Reduction	5
	?		Credit Building Product Disclosure and Optimization - Environmental Product Declarations	2
	?		Credit Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
	?		Credit Building Product Disclosure and Optimization - Material Ingredients	2
	?		Credit Construction and Demolition Waste Management	2

0	0	0	Indoor Environmental Quality	16
Y			Prereq Minimum Indoor Air Quality Performance	Required
Y			Prereq Environmental Tobacco Smoke Control	Required
			Credit Enhanced Indoor Air Quality Strategies	2
			Credit Low-Emitting Materials	3
			Credit Construction Indoor Air Quality Management Plan	1
			Credit Indoor Air Quality Assessment	2
			Credit Thermal Comfort	1
			Credit Interior Lighting	2
	?		Credit Daylight	3
			Credit Quality Views	1
			Credit Acoustic Performance	1

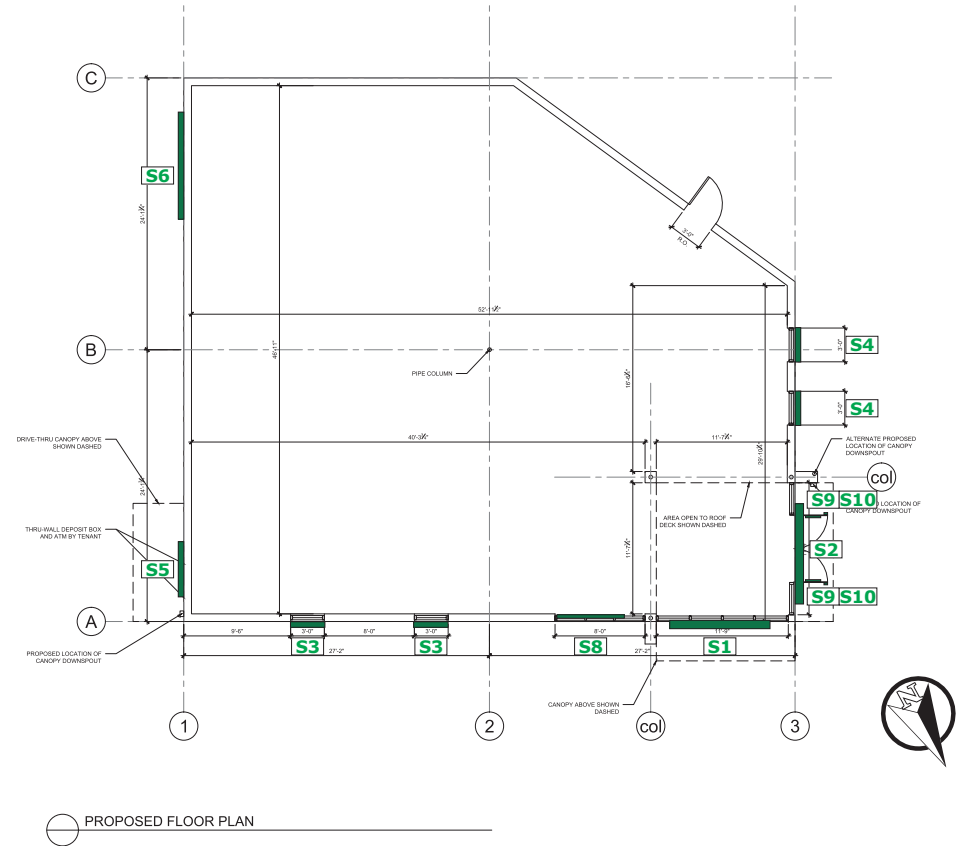
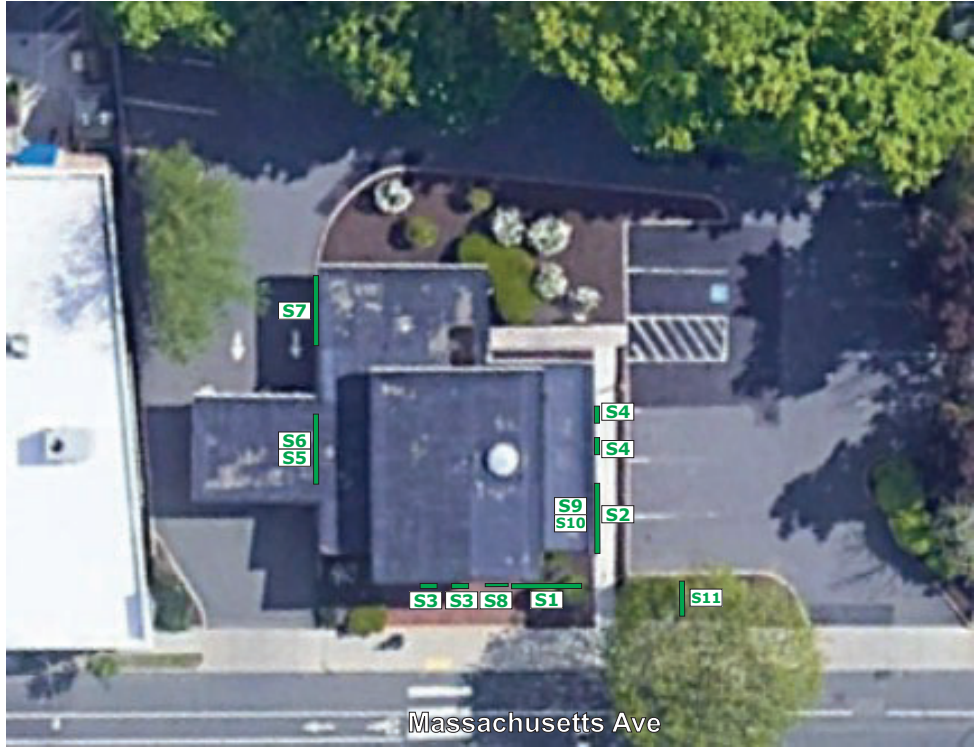
0	0	0	Innovation	6
			Credit Innovation	5
Y			Credit LEED Accredited Professional	1

0	0	0	Regional Priority	4
	?		Credit Regional Priority: Specific Credit	1
	?		Credit Regional Priority: Specific Credit	1
	?		Credit Regional Priority: Specific Credit	1
	?		Credit Regional Priority: Specific Credit	1

19	46	0	TOTALS	Possible Points: 110
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110				



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BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD

BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights

CONTACTS

PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

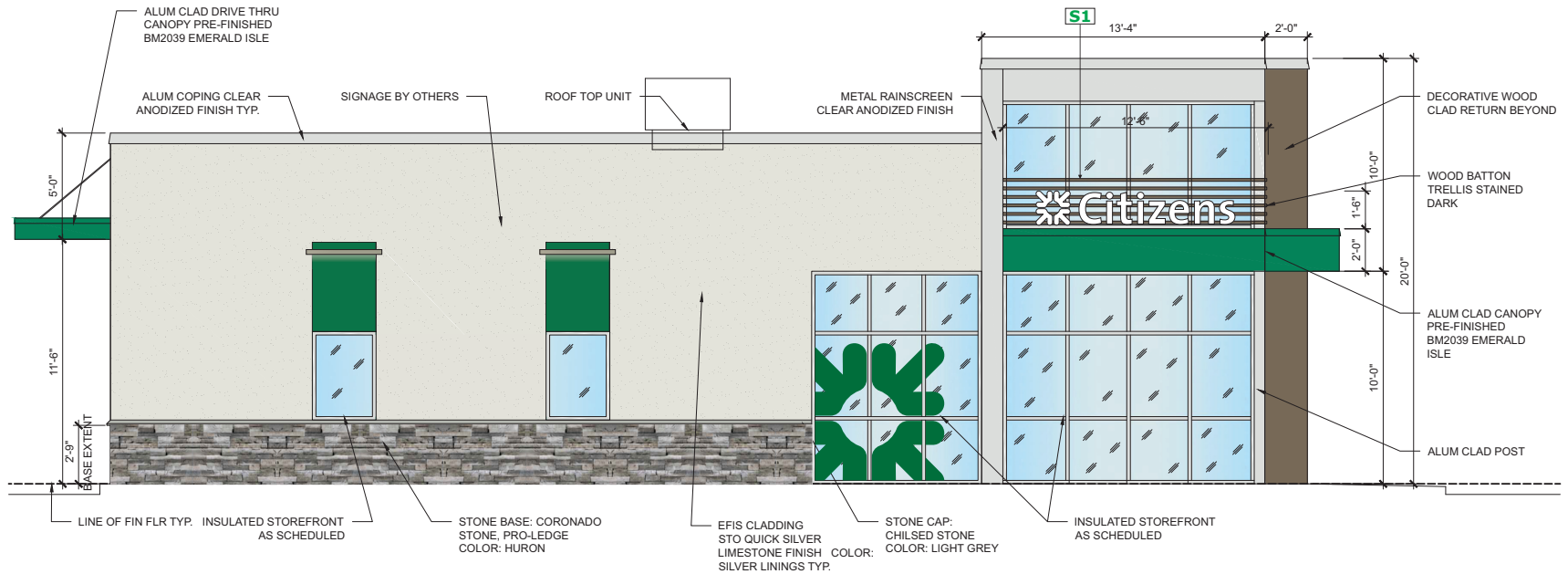
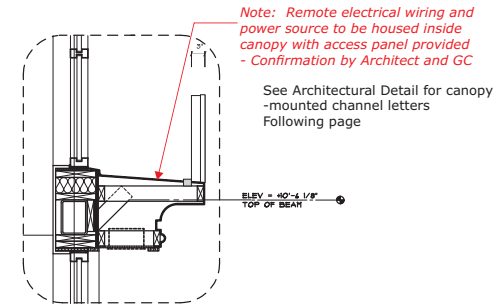
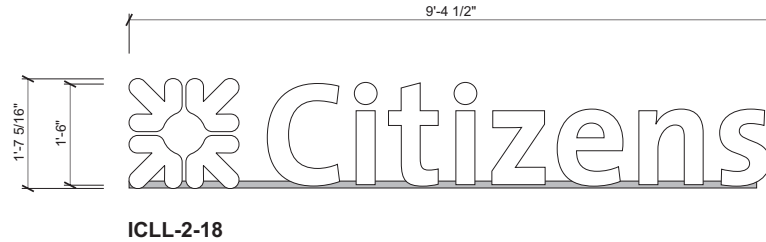
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SITE MAP

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S1 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
 Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)

SCALE: 3/16"=1'-0"



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MARKET STREET

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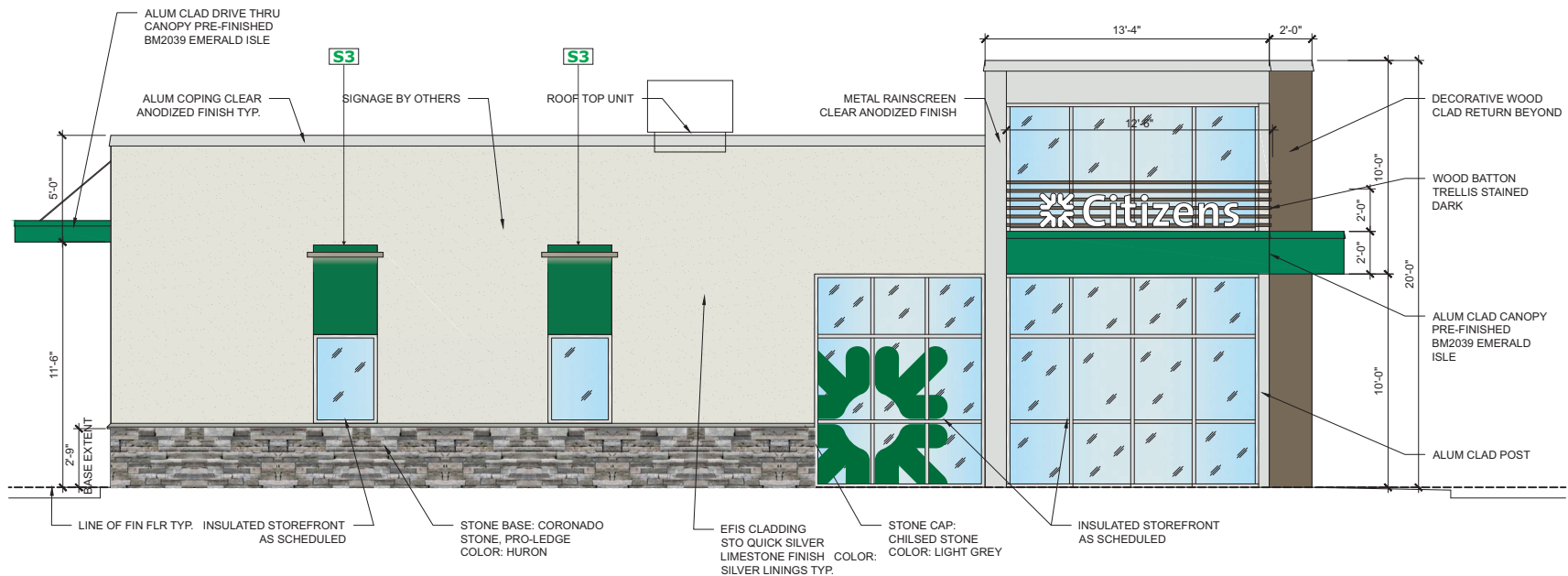
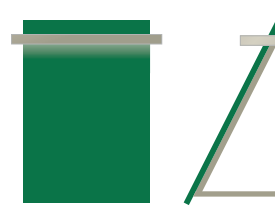
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S3 - ALB-1 - Green awning with light bar

Note: Dimensions ($\pm 4'-2"H \times \pm 3'-0"W$) to be verified

Note: Electrical required 120v @ 3 amps required.

Conduit stub out required for awning light bar by GC.



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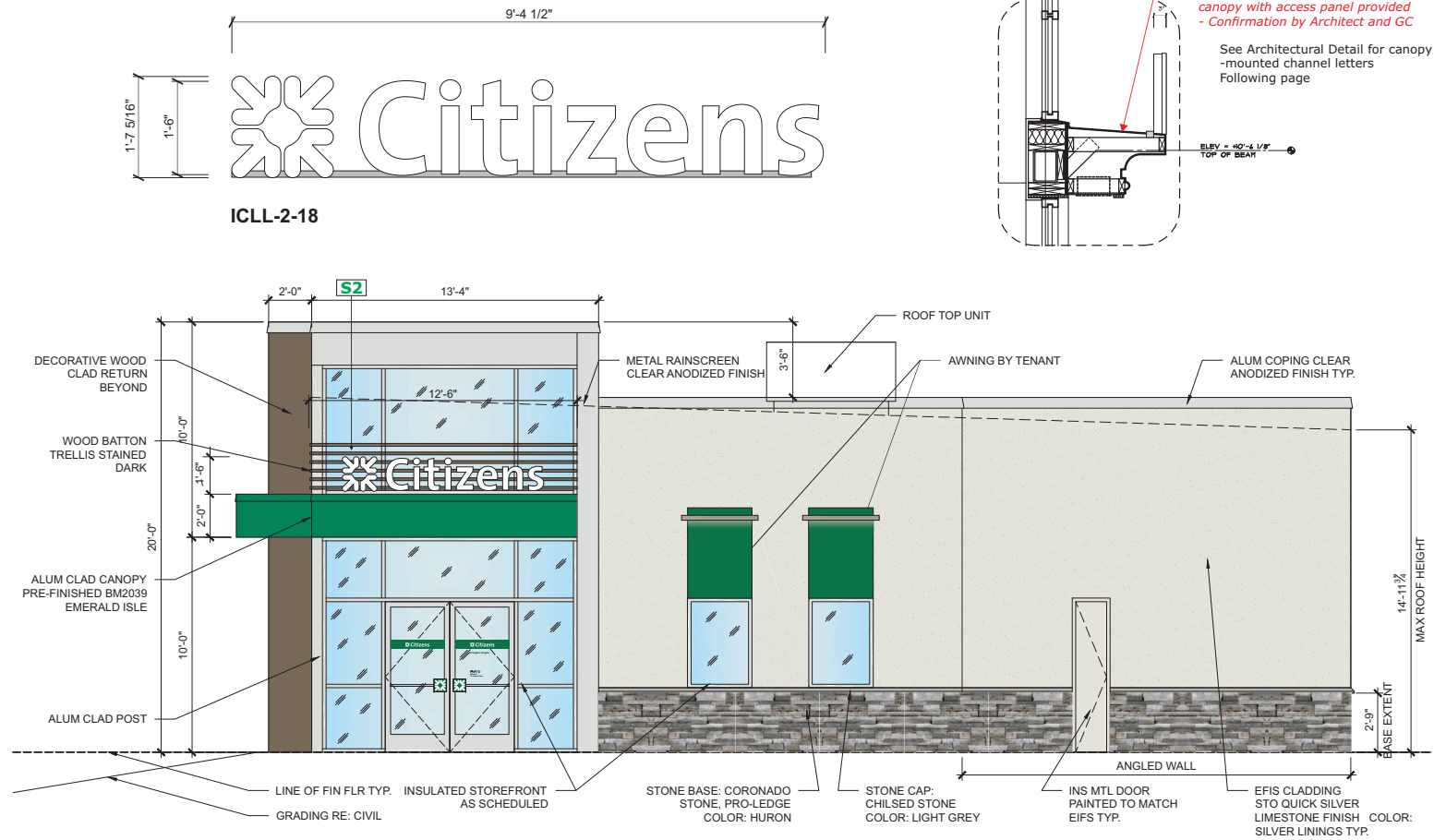
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S2 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



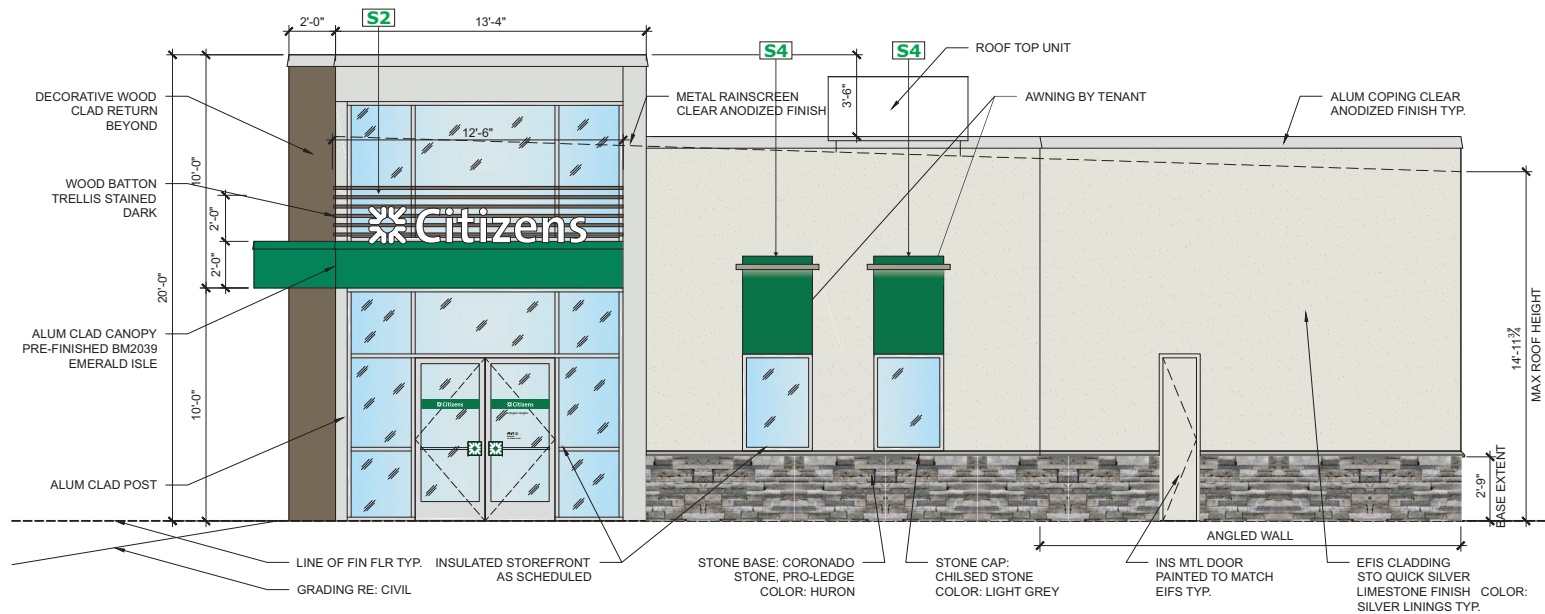
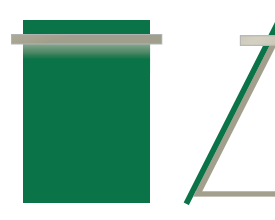
PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)
SCALE: 3/16"=1'-0"

S4 - ALB-1 - Green awning with light bar

Note: Dimensions ($\pm 4'-2''H \times \pm 3'-0''W$) to be verified

Note: Electrical required 120v @ 3 amps required.

Conduit stub out required for awning light bar by GC.



PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)

SCALE: 3/16"=1'-0"



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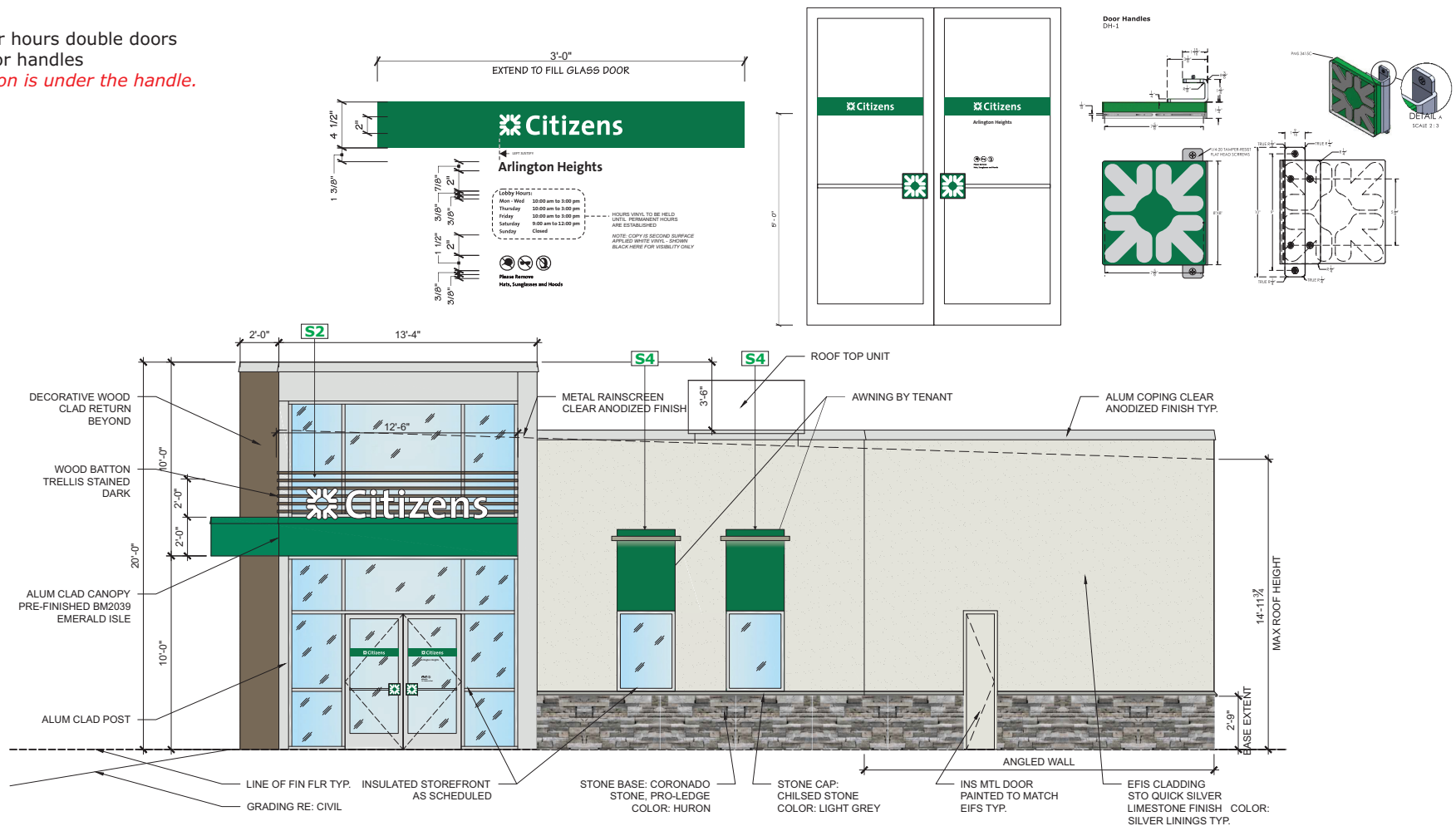
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S10 - DH-1 - Door handles

Note: Lock position is under the handle.



PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)
SCALE: 3/16"=1'-0"



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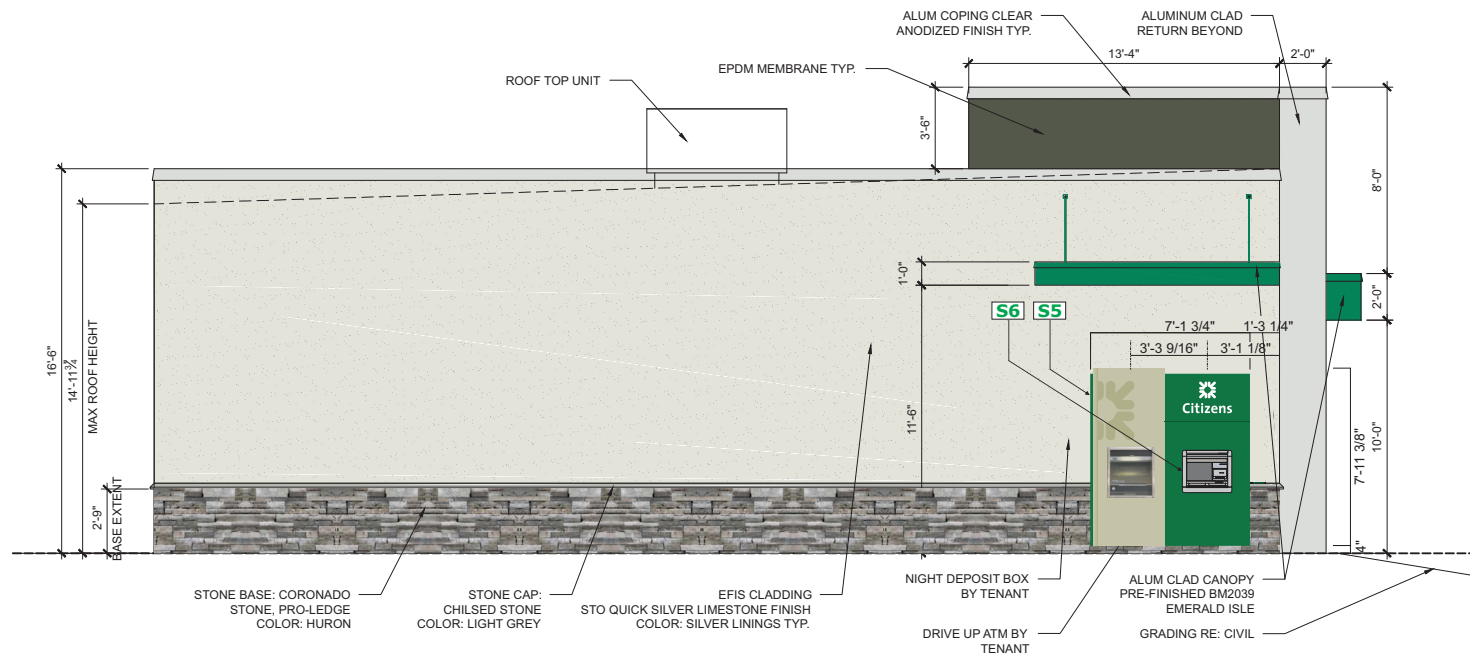
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S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.

S6 - ATM-NGP-1 - ATM network panel

Note: Dimensions and placement of ATM and Night Depository to be confirmed



PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)
SCALE: 3/16"=1'-0"



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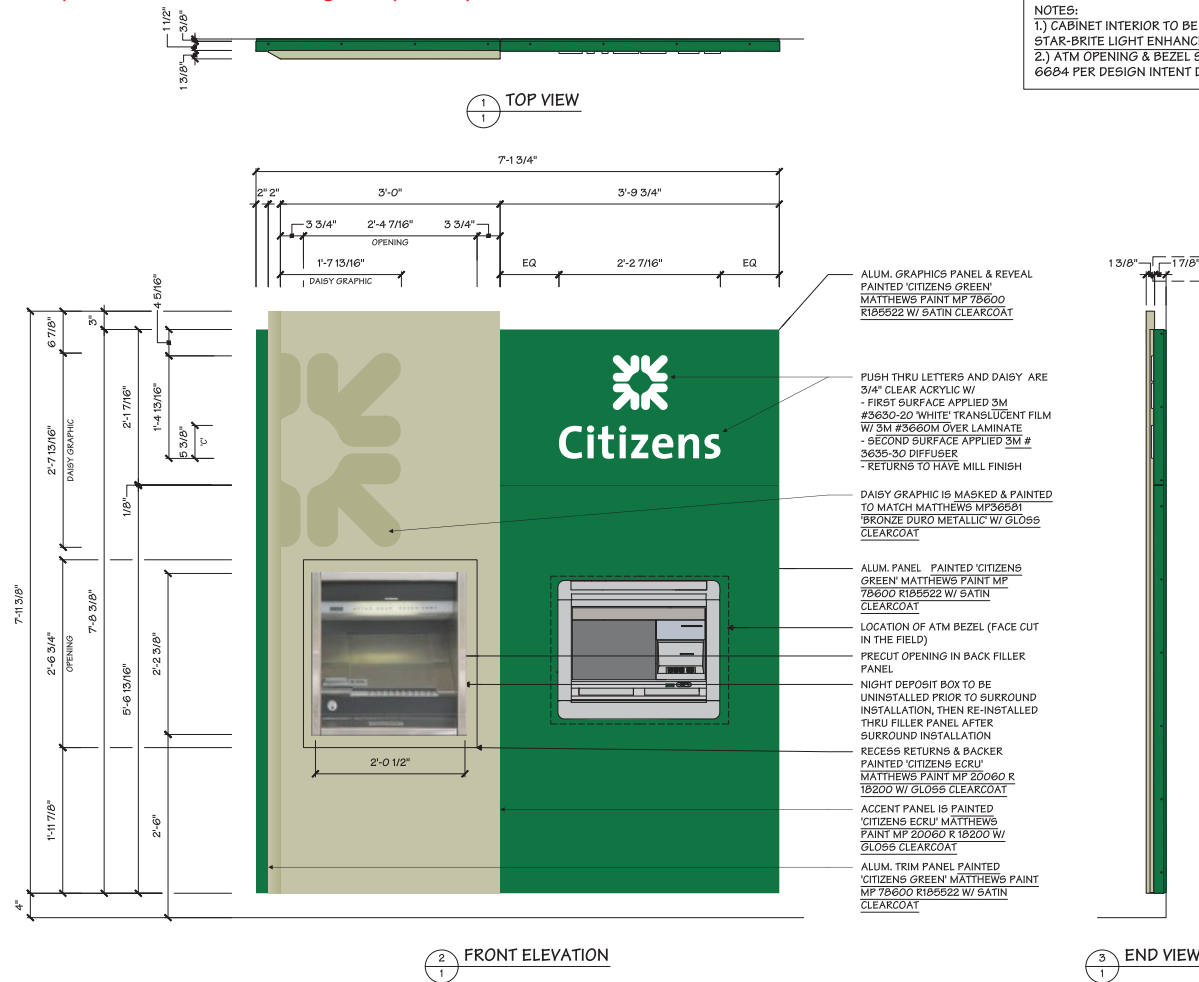
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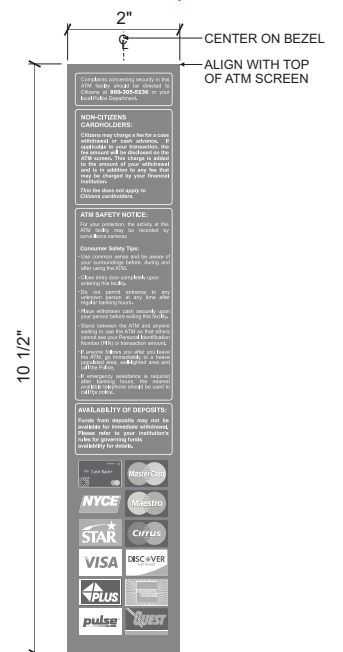
S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.

S6 - ATM-NGP-1 - ATM network panel

Note: Dimensions and placement of ATM and Night Depository to be confirmed



Note: Artwork for Post Birch NGP-1 to be verified by CFG



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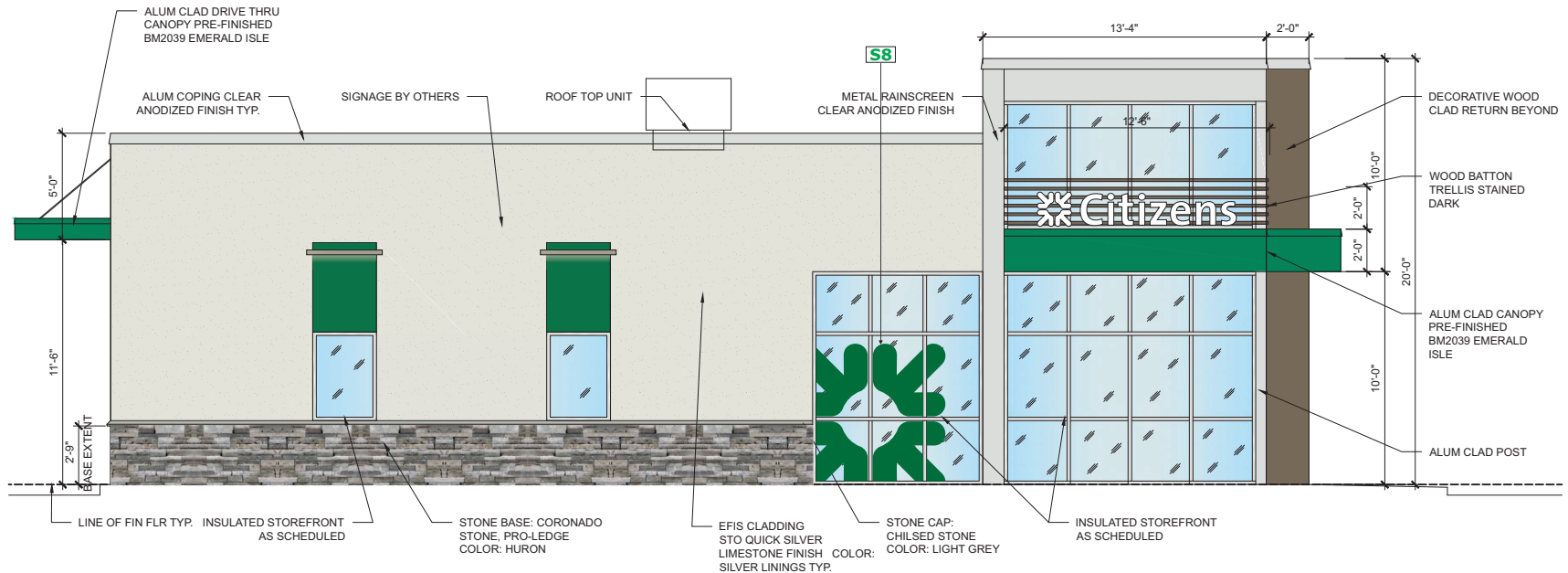
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S8 - Green window vinyl

Note: To be provided and installed by MZ



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S11 - Reface existing double-faced Pylon Sign
Note: Reface only, Dimensions to be determined



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PRE-PERMIT SIGN INFO		Property ID: ARLINGTON -001
A.) Project Name:	Citizens Bank	DATE COMPLETED 1/11/21
B.) Street Address:	1420 Massachusetts Avenue	
C.) Town / City / State / Zip:	Arlington, MA 02476	
D.) Contact for Permit/Zoning:	Jennifer Raitt	
E.) Contact Telephone:	781-316-3090	
F.) Jurisdiction: City/Town:	Town of Arlington	Address: 730 Mass Avenue Annex
or, County of:		City, ST Zip: Arlington, MA 02476

G.) Zoning Classification for property:	B4 Vehicular Oriented Business District.
H.) Is there a Master Sign Plan?	No MSP was found during research, there may be an MSP in place here, we strongly suggest checking with the
I.) Is a permit required?	Yes.
J.) What documents are required to file for the permit?	Application: https://www.arlingtonma.gov/home/showpublisheddocument?d=1952
K.) How long is the permit process?	3-5 weeks.
are there special reviews involved?	Not indicated during research, however the town reserves the right to request additional review(s) based on
overlay districts?	See above.
city and county review required?	See above.
design review board / ARB / DRB ?	See above.
community association review required?	See above.
L.) What are the fees for a sign permit?	https://www.arlingtonma.gov/departments/inspectional-services/applications-fees-forms/permit-fees
M.) Is engineering needed for wall signs?	May be required based on the scope of work, subject to plan review.
N.) Does engineering require a PE stamp?	See above.
O.) Is landlord approval required?	Yes.
P.) Legal Description Required for permit?	Yes.
Q.) Plat/Site Plan required for permit?	Yes.

ATTACHED SIGNS & WINDOW GRAPHICS

1.) Formula for calculating wall sign square footage (Max. Sq. Footage - Primary & Sq.Ft allowance for bldg. sides/rear:	Wall signs: Maximum 40 sq. ft. per business.
The total sign area for signs on single-tenant or multi-tenant buildings may be placed on any building elevation, subject to the following standards:	
(1) At least 1 sign must be placed above or associated with the building entry;	
(2) The width of the sign shall be no greater than 60% of the width of the building element on which it is displayed;	
(3) Signs shall be placed at least 12 inches or 20% of the width of the building element on which they are mounted, whichever is less, from the sides of the building element;	
(4) Signs shall be placed at least 12 inches or 20% of the height of the building element on which they are mounted, whichever is less, from the top and bottom edge of the building element; and	
(5) Signs shall be placed no higher than the lowest of the following:	
a. 25 ft. above grade;	
b. The bottom of the sill of the first level of windows above the first story; or	
c. The cornice line of the building at the building line.	

3.) How is the sign area calculated?	Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background. Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign. Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings. Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated. Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.
4.) Total # Wall Signs allowed per building elevation:	Wall signs: Maximum 1 per frontage.
5.) What is the max letter/character height allowed?	Signs shall be placed no higher than the lowest of the following:
6.) Does the ordinance restrict color, design or illumination?	Illumination: Non-Illuminated, internally illuminated, or externally illuminated. See
7.) Does window vinyl need to be permitted, if so how much is allowed?	Combined area of permanent and temporary window signs must not exceed
8.) Is the entire graphic calculated or just the company logo and name?	Entire graphic area.

FREESTANDING SIGNS

1.) Formula for calculating freestanding sign sq. footage (Max Sq Footage- Primary & Secondary signs):	Monument signs: Maximum 24 sq. ft. The name of a property is included in the area and height limits for freestanding signs.
2.) # F/S Signs allowed:	Monument signs: Maximum 1 per frontage. Internal illumination allowed: Monument signs: Non-Illuminated or
3.) Height Maximum:	Monument signs: Maximum 8 feet to the Clearance from grade to sign: Must be monument signs.
4.) Set-back of sign from right-of-way or property line:	Monument signs: Minimum 5 feet setback from property line. Signs may not be placed on property at any corner formed by intersecting streets, within the triangular area formed between the property lines and a diagonal line joining points on the property lines 25 feet from the point of their intersection, or in the case of rounded property line corners, the triangular area between the tangents to the curve at such corner and a diagonal line joining points on the tangents 25 feet from the point of their intersection.

DIRECTIONAL SIGNS

5.) Number Allowed:	Wall sign directional/driveway: Max 3 per lot. Maximum Square Footage: Wall sign directional/driveway: Max. 3 sq. ft. per
6.) Illumination Allowed?	Wall sign directional/driveway: Non-Illuminated Maximum Height: Wall sign directional/driveway: Mounting height-
7.) Permit Required?:	Wall sign directional/driveway: Sign permit Customer Logo Allowed: Not stipulated by code, subject to plan review.



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TEMPORARY BANNERS	
1.) What temporary sign types are allowed?	Allowed Sign Types: A-Frame or Upright Signs; Yard Sign Type I, II, and III; Wall Banners; and Window
2.) What is the max sign size area?	Max. 24 sq. ft. per business; excludes the area of temporary wall banner signs and window signs.
3.) How is the sign area calculated?	<p>Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background.</p> <p>Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign.</p> <p>Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings.</p> <p>Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated.</p> <p>Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.</p>
4.) Are logos factored into sign area?	Yes.
5.) How many signs per elevation?	Number of Signs: Unlimited, except that the total sign area must not exceed 24 sq. ft. per business.
6.) How long can signs be up?	A temporary sign permit for a wall banner is valid for 60 days beginning with the date of issuance.
7.) Does the ordinance restrict color, design or illumination?	<p>A temporary sign permit is required for the display of temporary wall banner signs. Portable and temporary signs are not counted toward the total allowable sign area or number of permanent signs. Sign placement must not create a hazard for pedestrian or vehicular traffic and must allow for a 4-foot wide sidewalk to comply with the Americans with Disabilities Act.</p> <p>Signs must be of sufficient weight and durability to withstand wind gusts, storms, etc., for the safety of pedestrians, bicyclists, and vehicles.</p> <p>Prohibited Elements: Illumination, including flashing, blinking, or rotating lights; animation; reflective materials; and attachments, including balloons, ribbons, loudspeakers, etc.</p> <p>Temporary wall banner: Signs must be mounted on a building wall or on T-posts or stakes installed 6 inches or less from the wall.</p>
VARIANCE INFORMATION	
1.) Variance cost?	\$400.00 and up.
2.) Variance time frame?	2-5 months.
3.) Variance document deadline?	One month prior to meeting.
4.) Variance meeting dates?	https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-
5.) Variance documents required?	https://www.arlingtonma.gov/home/showpublisheddocument?id=24805
6.) How many sets?	7 sets.
7.) Likelihood of variance approval?	35%
DOCUMENTS REQUIRED FOR PERMITS	
Scaled Plot plan <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Building elevations <input checked="" type="checkbox"/> Elevation Drawings <input type="checkbox"/> Electrical Permit <input checked="" type="checkbox"/>
Installation drawings <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Legal description <input type="checkbox"/> Sealed engineering drawings <input type="checkbox"/> Notice of Commencement <input type="checkbox"/>
Sign drawings <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Photo of existing <input checked="" type="checkbox"/> Property Manager's Approval <input type="checkbox"/>

Sign Code: https://www.arlingtonma.gov/home/showpublisheddocument?id=43413
Note: If the Building Inspector determines that a separate electrical or structural permit is required, the applicant shall be notified. The sign permit shall not be issued until all other required permits have been obtained.
Prohibited signs: 1. Bandit signs, 2. Cabinet signs, and 3. Electronic message centers or electronic displays.
Signs with the following display features are prohibited: 1. Animated features which rotate, move, or give the appearance of moving by mechanical, wind, or other means. 2. Lighting devices with intermittent, flashing, rotating, blinking or strobe light illumination, animation, motion picture, or laser or motion picture projection, or any lighting effect creating the illusion of motion, as well as laser or hologram lights. 3. Internally illuminated signs with a directly exposed light source, except for neon incorporated into the design of a permanent window sign. 4. Surfaces that reflect light by means of a glossy, polished, or mirrored surface.
Numerals and letters up to 2 square feet in area used to identify an address are not included in the determination of sign area.
All allowed permanent signs may be non-illuminated, illuminated by internal light fixtures, halo illuminated, or illuminated by external indirect illumination, unless otherwise specified. All temporary signs must be nonilluminated. 1. No sign shall be illuminated between 12:00 AM and 6:00 AM, except signs identifying emergency services such as police and ambulance stations or hospitals and signs on premises open for business during that time. 2. Internally Illuminated Signs: a. Internally illuminated signs include signs constructed with pan channel letters, preferably without raceways, or internal/indirect halo illuminated channel letters on an unlit or otherwise indistinguishable background on a freestanding sign or building wall. b. Single-color LED signs are considered internally illuminated signs. 3. Externally Illuminated Signs. Externally illuminated signs must be illuminated only with steady, stationary, fully-shielded light sources directed solely onto the sign without causing glare. The light source for externally illuminated signs must be arranged and shielded to substantially confine all direct light rays to the sign face and away from streets and adjacent properties. 4. Direct illumination is limited to marquee signs; see Section 6.2.5(C)(6) and is limited to the illumination of letters, numbers, symbols and accents on the marquee sign. Exposed lamps may only be animated to create an effect of patterned illusionary movement provided the alternate or sequential activation of the illuminated elements occurs on a cycle that exceeds two seconds.
Neon or single-color LED signs placed in a window count toward the aggregate area for all window signs and must not exceed 25 percent of the area of the window. Any individual neon or single-color LED sign must not exceed four square feet in area. Other uses of neon are prohibited.
Structure and Installation: (1) Any angle iron, bracing, guy wires, or similar features used to support a sign must not be visible to the extent technically feasible. (2) Where electrical service is provided to freestanding signs or building mounted signs, the service must be placed underground and concealed. Electrical service to building mounted signs, including conduit, housings, and wire, must be concealed or, when necessary, painted to match the surface of the structure upon which they are mounted. A building permit shall be issued prior to installation of any new signs requiring electrical service. (3) Raceway cabinets shall only be used in building mounted signs when access to the wall behind the sign is not feasible, shall not extend in width and height beyond the area of the sign, and shall match the color of the building to which it is attached. Where a raceway cabinet provides a contrast background to sign copy, the colored area is counted in the total allowable sign area allowed for the site or business. A raceway cabinet is not a cabinet sign. (4) All permanent signs allowed by this Section must be constructed of durable materials capable of withstanding continuous exposure to the elements and the conditions of a built-up environment and must be permanently attached to the ground, a building or another structure by direct attachment to a rigid wall, frame, or structure.
Monument signs: Landscaping- A landscaped area consisting of shrubs, and/or perennial ground cover plants with a max. spacing of 3 ft. on center is required around the base of the signs. The landscape area must be a min. of 2 sq. ft. for each 1 sq. ft. of sign area.



2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD
BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA

DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights

CONTACTS
PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:
CITIZENS BANK DESIGN MANAGER:

APPROVAL STAMP:

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Town of Arlington, Massachusetts

Finalize Report to Town Meeting

Summary:

7:30 p.m. Board will discuss draft report and vote to approve and submit to Town Meeting.

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	Agenda_Item_2_-_ARB_Report_to_ATM_2021_DRAFT.pdf	ARB Report to ATM 2021 DRAFT



Town of Arlington

Report to 2021 Annual Town Meeting

Rachel Zsembery, Chair

Kin Lau, Vice Chair

Eugene Benson

Melisa Tintocalis

David Watson

Jennifer Raitt

Secretary Ex-Officio

Director of Planning and Community Development

voted as amended _____, 2021

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DRAFT

Introduction and Overview

The Arlington Redevelopment Board (ARB) has statutory authority over M.G.L. c. 40A as the Town's planning board (Section 2 of Section 17 of the Town Manager Act) and M.G.L. c. 41 § 81 as the Redevelopment Authority. The ARB was created by a Town Meeting-adopted home rule petition, followed by a State Legislature act to form the ARB in 1971. The Department of Planning and Community Development was created in 1969. The authority and role of the ARB is included in Article 17 of the Town Manager Act. As a planning board, the ARB is charged with developing Arlington's Master Plan; proposing bylaws, regulations, and rules to implement the Master Plan; and applying those bylaws, regulations, and rules. Lastly, the ARB serves as a special permit granting authority. The ARB is also a duly constituted redevelopment authority formed under the authority of M.G.L. c. 121B. As a redevelopment authority, the ARB can buy, sell and hold property and it is because of these powers that the ARB acts as landlord, responsible for many properties that the Town Meeting has seen fit to put under the Board's jurisdiction. With Town Meeting approval, the Board may hold property to improve and rehabilitate to meet community development goals.

The members of the ARB are as follows:

Rachel Zsembery, Chair, (Term through 6/30/2023)

Kin Lau, Vice Chair (Term through 1/31/2022)

Eugene Benson (Term through 1/31/2023)

Melisa Tintocalis (Term through 1/31/2023)

David Watson (Term through 9/22/2023, Gubernatorial designee)

Jennifer Raitt, Secretary Ex-Officio and Director of Planning and Community Development

Effective April 16, 2021, David Watson will be stepping down from the Board after serving for four and one-half years. The Board thanks Mr. Watson for his service and contributions as a member of the Master Plan Implementation Committee's Zoning Bylaw Working Group, including the most significant recodification of the Zoning Bylaw since 1975 and contributions to the design of a bylaw for Bicycle Parking helping the Town to achieve net zero and sustainable transportation goals. The Board is also grateful to Katherine Levine Einstein for her service on the Board from September 2020 through January 2021. The Board and Director of Planning and Community Development would like to say a special thank you to Erin Zwirko, AICP, LEED AP, Assistant Director of Planning and Community Development for excellent service to the Town, advancing numerous planning goals and processes and leading the Master Plan Implementation Committee and Housing Plan Implementation Committee. Thank you to Kelly Lynema, Senior Planner, for her assistance with research and analysis for staff reports and assistance in the preparation of this report.

Zoning Articles Overview

The ARB review process for 2021 Annual Town Meeting began in January with the close of the Warrant, and will culminate after Town Meeting with a submission of any approved zoning amendments to the Attorney General. A detailed description of the submission, review process, and schedule is posted on the [ARB website](#).

When any warrant article proposes to amend the "Town of Arlington Zoning Bylaw," the ARB is required to issue a report with recommendations to Town Meeting. Appearing below are a number of articles that propose to amend the Zoning Bylaw and Zoning Map. This report includes a brief discussion of the intent of amendments followed by a recommended vote of the ARB. The ARB's vote constitutes its recommendation to Town Meeting. The recommendations of the ARB, and not the original warrant

articles, are the actual motions that will be considered by the Town Meeting. An ARB vote of “No Action” means that Town Meeting will be asked to vote that no action be taken on the proposed warrant article. Changes to the Zoning Bylaw text are shown beneath the recommended votes. Additions to the original Zoning Bylaw text appear as underlined text, while any deletions to the original Zoning Bylaw text appear as strike through text.

The ARB advertisement for Annual Town Meeting appeared in the *Arlington Advocate* as required on February 11 and February 18, 2021. In accordance with the provisions of the Arlington Zoning Bylaw and Massachusetts General Laws Chapter 40A, the ARB held public hearings and heard public comments on the proposed amendments on Monday, March 1, 2021, Monday, March 15, 2021, Monday, March 29, 2021, and Monday, April 5, 2021, held remotely on Zoom. The ARB voted on recommended bylaw language at their meeting on April 5, 2021. The ARB approved this report as amended on April 8, 2021.

DRAFT

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Summary of Recommendations by the Arlington Redevelopment Board

Article No.	Date of ARB Hearing	Recommendation
Article 28	March 1, 2021	Action
Article 29	March 1, 2021	Action
Article 30	March 1, 2021	Action
Article 31	March 1, 2021	Action
Article 32	March 1, 2021	Action
Article 33	March 1, 2021	Action
Article 34	March 1, 2021	Action
Article 35	April 5, 2021	Action
Article 36	April 5, 2021	Action
Article 37	March 29, 2021	No Action
Article 38	March 15, 2021	Action
Article 39	March 1, 2021	No Action
Article 40	March 1, 2021	No Action
Article 41	March 15, 2021	No Action
Article 42	March 15, 2021	No Action
Article 43	March 15, 2021	Action
Article 44	March 29, 2021	Action
Article 45	March 15, 2021	No Action
Article 46	March 29, 2021	No Action
Article 47	March 29, 2021	No Action
Article 48	March 29, 2021	Action
Article 49	March 29, 2021	No Action

Zoning Bylaw Amendments: Affordable Housing Requirements

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 28

ZONING BYLAW AMENDMENT/ AFFORDABLE HOUSING REQUIREMENTS

To see if the Town will vote to amend the Zoning Bylaw to increase the time during which the affordable housing requirements apply from a two-year period to a three-year period in alignment with G.L. c.40A § 9 by amending SECTION 8.2.2. APPLICABILITY; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: Section 30 of Chapter 219 of the Acts of 2016 broadened Chapter 40A, § 9, by extending the term of Special Permit from two years to three years. When this law was passed, the goal was to provide more flexibility in construction schedules to adapt to changing economic, labor, and market conditions without having to seek an extension from the special permit granting authority.

The Zoning Bylaw in Section 3.3.5.B references the correct three-year term in accordance with this law, which was updated as part of the Zoning Bylaw recodification completed in 2018. Section 8.2 continues to reference the two-year term of special permits and should be updated to be consistent with Chapter 40A Section 9. The ARB believes that this amendment is necessary for consistency with the state's Zoning Act (MGL c.40A).

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 28. That the Zoning Bylaw be and hereby is amended as follows:

8.2.2. Applicability

The provisions of this Section 8.2 shall apply to all new residential development with six or more units subject to Section 3.4, Environmental Design Review, comprised of any or all of the following uses:

- Single-family detached dwelling
- Two-family dwelling
- Duplex dwelling
- Three-family dwelling
- Townhouse structure
- Apartment building
- Apartment conversion
- Single-room occupancy building

Any residential development of the uses listed above involving one lot, or two or more adjoining lots in common ownership or common control, for which special permits or building permits are sought within a ~~two-year~~ three-year period from the first date of special permit or building permit application shall comply with the provisions of this Section 8.2.

Zoning Bylaw Amendments: Apartment Conversion

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 29

ZONING BYLAW AMENDMENT/ APARTMENT CONVERSION

To see if the Town will vote to amend the Zoning Bylaw to include a definition of apartment conversion by amending SECTION 2 DEFINITIONS; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: Apartment conversion is a use listed in the Table of Uses, but has no definition associated with it, although there are standards listed in the Table of Uses: "Conversion to apartments, up to 18 units per acre, with no alteration to the exterior of the building." Apartment conversion is allowed with a Special Permit in the R4 and R5 districts and the B1 district. The Table of Dimensional and Density Regulations also provides specific regulations.

Apartment conversions are referenced in the description of the R4 Townhouse District. Section 5.4.1.B(1) notes that "the predominant uses in the R4 district are one- and two-family dwellings in large, older houses. Conversions of these old homes to apartments or offices are allowed to encourage their preservation." The description of the B1 Neighborhood Office District also references the predominant uses as one- and two-family dwellings.

The ARB believes that defining "apartment conversion" brings clarity to the term that is used in various locations in the Zoning Bylaw. It is noted that the Table of Density and Dimensional

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 29. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 2:

Apartment Conversion: The conversion of an existing structure originally designed for one-family or two-family use to an apartment building with no addition to or expansion of the exterior of the structure.

Zoning Bylaw Amendments: Gross Floor Area

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 30

ZONING BYLAW AMENDMENT/ GROSS FLOOR AREA

To see if the Town will vote to amend the Zoning Bylaw to clarify how landscaped and usable open space is calculated relative to gross floor area by amending SECTION 5.3.22. GROSS FLOOR AREA to add subsection C; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: The ARB believes that the amendments to the definitions of Landscaped Open Space and Usable Open Space will bring clarity to how users of the Zoning Bylaw need to calculate gross floor area. The additional amendment proposed in Section 5.3.22, Gross Floor Area, provides additional clarification regarding the standard by which these two requirements are calculated.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 30. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 2:

Open Space, Landscaped: Open space designed and developed for pleasant appearance in trees, shrubs, ground covers and grass, including other landscaped elements such as natural features of the site, walks and terraces, and also including open areas accessible to and developed for the use of the occupants of the building located upon a roof not more than 10 feet above the level of the lowest story used for dwelling purposes. Refer to Section 5.3.22.C. for how to calculate landscaped open space.

Open Space, Usable: The part or parts of a lot designed and developed for outdoor use by the occupants of the lot for recreation, including swimming pools, tennis courts, or similar facilities, or for garden or for household service activities such as clothes drying; which space is at least 75% open to the sky, free of automotive traffic and parking, and readily accessible by all those for whom it is required. Such space may include open area accessible to and developed for the use of the occupants of the building, and located upon a roof not more than 10 feet above the level of the lowest story used for dwelling purposes. Open space shall be deemed usable only if at least 75% of the area has a grade of less than 8%, and no horizontal dimension is less than 25 feet. For newly constructed single-, two-family, and duplex dwellings with surface parking, no horizontal dimension shall be less than 20 feet. Refer to Section 5.3.22.C. for how to calculate usable open space.

Amend SECTION 5.3.22:

5.3.22. Gross Floor Area

- A. For the purposes of this bylaw, the following areas of buildings are to be included in the calculation of Gross Floor Area:
- (1) Elevator shafts and stairwells on each floor;
 - (2) Attic areas with headroom, measured from subfloor to the bottom of the roof structure, of seven feet three inches or more, except as excluded in (4) below;
 - (3) Interior mezzanines;
 - (4) Penthouses;

Zoning Bylaw Amendments: Gross Floor Area

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

- (5) Basement areas except as excluded in (2) below;
 - (6) Cellars in residential uses;
 - (7) All-weather habitable porches and balconies; and
 - (8) Parking garages except as excluded in (1) below.
- B. For the purposes of this bylaw, the following areas of buildings are to be excluded from the calculation of Gross Floor Area:
- (1) Areas used for accessory parking, or off-street loading purposes;
 - (2) Basement areas devoted exclusively to mechanical uses accessory to the operation of the building;
 - (3) Open or lattice enclosed exterior fire escapes;
 - (4) Attic and other areas used for elevator machinery or mechanical equipment accessory to the operation of the building; and
 - (5) Unenclosed porches, balconies, and decks.
- C. For the purposes of this bylaw, the district dimensional requirements for Usable Open Space and Landscaped Open Space are calculated based on Gross Floor Area.

Zoning Bylaw Amendments: Prohibited Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 31

ZONING BYLAW AMENDMENT/ PROHIBITED USES

To see if the Town will vote to amend the Zoning Bylaw to indicate that uses without a "Y" or "SP" in the Tables of Uses are prohibited by amending SECTION 5.2.2. PROHIBITED USES to add subsection C; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: The ARB believes that this amendment provides clarification in the Tables of Uses provided in the Zoning Bylaw. The amendment indicates that a use without a "Y" (Yes, use allowed) or "SP" (Special Permit required) is a use that is not permitted unless it is authorized elsewhere in the bylaw.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 31. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 5.2.2:

5.2.2. Prohibited Uses

- A. Any use not listed in the Tables of Uses for various districts in Section 5 or otherwise allowable under the provisions of this Bylaw is prohibited.
- B. All uses that pose a present or potential hazard to human health, safety, welfare, or the environment through emission of smoke, particulate matter, noise or vibration, or through fire or explosive hazard, or glare, are expressly prohibited in all districts.
- C. Any use not designated with a "Y" (Yes, use allowed) or "SP" (Special Permit required) in the Tables of Uses for various districts is prohibited in that district, unless otherwise authorized by this bylaw.

Zoning Bylaw Amendments: Other Districts Dimensional and Density Regulations
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 32

**ZONING BYLAW AMENDMENT/ OTHER DISTRICTS DIMENSIONAL
AND DENSITY REGULATIONS**

To see if the Town will vote to amend the Zoning Bylaw to include the legend for tables by amending SECTION 5.6.2. DIMENSIONAL AND DENSITY REGULATIONS; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: The ARB believes that carrying the legend to Section 5.6.2 for the MU, I, T, PUD, and OS Districts will assist in interpreting the shorthand notations in the tables of that section.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 32. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 5.6.2:

5.6.2. Dimensional and Density Regulations

The dimensional and density requirements in this Section apply to principal and accessory uses and structures in the MU, I, T, PUD, and OS districts. Additional dimensional and density regulations affecting all districts can be found in Section 5.3.

LEGEND FOR TABLES

Sq.ft. Square feet

ft Feet

L Length

H Height

W Width

ROW Right-of-Way

SP Special Permit

Y Yes (use allowed)

Zoning Bylaw Amendments: Administrative Amendments

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 33

ZONING BYLAW AMENDMENT/ ADMINISTRATIVE AMENDMENTS

To see if the Town will vote to amend the Zoning Bylaw to make the following administrative corrections;

1. Correcting references to Board of Selectmen in subparagraph B of SECTION 3.1.4. PENALTY and in Section 3.2.1. ESTABLISHMENT;
2. Removing gendered terms in subparagraph A of SECTION 3.2.3. RULES AND REGULATIONS and subparagraph D of SECTION 6.2.7. NONCONFORMING SIGNS;
3. Correcting reference to August, 1975 in subparagraphs C and D in SECTION 5.4.2. DIMENSIONAL AND DENSITY REQUIREMENTS;
4. Correcting reference to Section 7 in SECTION 3.3.4.A SPECIAL PERMIT CONDITIONS; and
5. Correcting reference to seven feet three inches in subsection A(1) in SECTION 5.3.22. APPLICABILITY;

or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: The ARB supports these administrative amendments for clarity and consistency, including: updating references to the Select Board; removing gendered terms in the Zoning Bylaw; inserting a date; updating a section reference; and making a cross reference update consistent with an article passed at the 2019 Annual Town Meeting.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 33. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 3.1.4.B:

- B. The Building Inspector may, with the approval of the ~~Board of Selectmen~~ Select Board, institute the appropriate criminal action or proceeding at law or in equity to prevent any unlawful action, use or condition, and to restrain, correct or abate such violation. Penalties for violations may, upon conviction, be affixed in an amount not to exceed three-hundred dollars (\$300.00) for each offense. Each day, or portion of a day, in which a violation exists shall be deemed a separate offense.

Amend SECTION 3.2.1.:

3.2.1. Establishment

There shall be a Zoning Board of Appeals ("Board of Appeals") consisting of five members and two associate members appointed by the ~~Board of Selectmen~~ Select Board. All members of the Board of Appeals shall be Arlington residents, one member shall be an attorney-at-law, and at least one of the remaining members shall be a registered architect or a registered professional engineer. The appointment, service, and removal or replacement of members and associate members and other actions of the Board of Appeals shall be as provided for in G.L. c. 40A.

Amend SECTION 3.2.3.A:

- A. The ~~Chairman~~ Chair of the Board of Appeals, or in ~~his~~ their absence the Acting ~~Chairman~~ Chair, may administer oaths, but must do so for hearings involving G.L. c. 40B, summon witnesses and

Zoning Bylaw Amendments: Administrative Amendments

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

call for the production of papers. All hearings shall be open to the public. The Board of Appeals and all permit and special permit granting authorities shall hold hearings and render decisions in accordance with the applicable time limitations as set forth in G.L. c. 40A §§ 9 and 15. The Board of Appeals shall cause to be made a detailed record of its proceedings which in the case of G.L. c. 40B hearings shall require that all testimony be electronically recorded, showing the vote of each member upon each question, or if absent or failing to vote, indicating such fact, and setting forth clearly the reasons for its decisions, and of its other official actions, copies of all of which shall be filed within 14 days in the office of the Town Clerk and the office of the Arlington Redevelopment Board and shall be a public record, and notice or decisions shall be mailed immediately to the petitioner and to the owners of all property deemed by the Board of Appeals to be affected thereby, including the abutters and the owners of land next adjoining the land of the abutters, notwithstanding that the abutting land or the next adjoining land is located in another city or town, as they appear on the most recent local tax list, and to every person present at the hearing who requests that notice be sent to ~~him~~ them and states the address to which such notice is to be sent. Upon the granting of a limited or conditional zoning variance or special permit, the Board of Appeals shall issue to the land owner a notice, certified by the ~~chairman~~ chair or clerk, containing the name and address of the land owner, identifying the land affected, and stating that a limited or conditional variance or special permit has been granted which is set forth in the decision of the Board on file in the office of the Town Clerk. No such variance or permit shall take effect until such notice is recorded in the Middlesex County Registry of Deeds.

The fee for recording such notice shall be paid by the owner and the notice shall be indexed in the grantor index under the name of the owner of record.

The concurring vote of all members of the Board shall be necessary to reverse any order or decision of any administrative official, or to decide in favor of the applicant on any matter upon which it is required to pass under this Bylaw, or to effect any variance in the application of this Bylaw.

Amend SECTION 6.2.7.D:

- D. Removal of a nonconforming sign, or replacement of a nonconforming sign with a conforming sign, is required when the use of the sign and/or the property on which the sign is located has been abandoned, ceased operations, become vacant, or been unoccupied for a period of 180 consecutive days or more as long as the period of non-use is attributable at least in part to the property owner, tenant, or other person or entity in control of the use. For purposes of this Section, rental payments or lease payments and taxes shall not be considered as a continued use. In the event this should occur, these conditions will be considered as evidence of abandonment, requiring removal of the nonconforming sign by the owner of the property, ~~his/her~~ their agent, or person having the beneficial use of the property, building or structure upon which the nonconforming sign or sign structure is erected within 30 days after written notification from the Building Inspector. If, within the 30-day period, the nonconforming sign is not removed, enforcement action consistent with Section 3.1 shall be pursued.

Zoning Bylaw Amendments: Administrative Amendments

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Amend SECTION 5.4.2.:

- C. One exception is made for attached single-family dwellings on Sunnyside Avenue, Gardner Street, Silk Street, Marrigan Street, and Fremont Street. Attached single-family dwellings existing in August 28, 1975, on these streets are permitted as a right.
- D. In the R0, R1 and R2 districts no new licensed nursing home, rest home, convalescent home facilities shall be constructed except at sites whereon these facilities existed as of August 28, 1975. These existing facilities may be reconstructed to meet code requirements in accordance with a special permit under 3.3 and 3.4.

Amend SECTION 3.3.4.A:

- E. Dimensional standards more restrictive than those set forth in ~~Section 7~~Section 5 of this Bylaw;

Amend SECTION 5.3.22.A(2):

- A. For the purposes of this bylaw, the following areas of buildings are to be included in the calculation of Gross Floor Area:
 - (1) Elevator shafts and stairwells on each floor;
 - (2) Attic areas with headroom, measured from subfloor to the bottom of the roof structure, of seven feet ~~three inches or more~~, except as excluded in (4) below;
 - (3) Interior mezzanines;
 - (4) Penthouses;
 - (5) Basement areas except as excluded in (2) below;
 - (6) Cellars in residential uses;
 - (7) All-weather habitable porches and balconies; and
 - (8) Parking garages except as excluded in (1) below.

Zoning Bylaw Amendments: Marijuana Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 34

ZONING BYLAW AMENDMENT/ MARIJUANA USES

To see if the Town will vote to amend the Zoning Bylaw to allow Marijuana Delivery-Only Retailers and other amendments for consistency with the state regulations for the adult use of marijuana and the medical use of marijuana by amending SECTION 2 DEFINITIONS, SECTION 5.5.3. USE REGULATIONS FOR BUSINESS DISTRICTS, SECTION 5.6.3. USE REGULATIONS FOR MU, PUD, I, T, AND OS DISTRICTS, and SECTION 8.3 STANDARDS FOR MARIJUANA USES; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: On November 30, 2020, the Cannabis Control Commission approved new medical- and adult-use regulations, which brought more parity to the two programs. The regulations approved by the Commission were promulgated and published on January 8, 2021. Due to these updates, the ARB discussed amendments to Section 2 and Section 8.3 of the Zoning Bylaw. Specifically, the new regulations created a “Marijuana Delivery Operator” license allowing an operator to buy product wholesale from growers and manufacturers, store the product, and sell to their own customers. Marijuana Delivery Operators are not allowed a public retail presence in the same way that Apothca has at 1386 Massachusetts Avenue and that Eskar was approved for at 23 Broadway.

The main purpose of the amendment is to define and provide for the new license type, Marijuana Delivery Operator License as described as the distribution center above. The amendment creates a new use “Marijuana Delivery-Only Retailer” and defines it consistent with the regulations. Because this use requires a warehouse facility to store products, its land use is similar to the existing Marijuana Production Facility use defined and allowed in the Zoning Bylaw. As such, the amendment proposes to allow this use, with a Special Permit from the ARB, in the B4 and Industrial Zoning Districts. The ARB believes that these districts are the most appropriate district for this new use.

The ARB notes that the demand for this type of use may be limited. The regulations make both licenses exclusively available to Economic Empowerment Applicants and Social Equity Program Participants for a minimum of three years. Neither Apothca or Eskar are Economic Empowerment Licensees or Social Equity Program Participants. The ARB acknowledges however that as a community that has allowed adult use marijuana uses, the Town and the Zoning Bylaw should reflect the current license types in a proactive manner.

Other amendments bring Section 8.3 in alignment with the Cannabis Control Commission regulations at 935 CMR 500 and 935 CMR 501.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 34. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 2:

Marijuana Delivery-Only Retailer: An entity licensed by the Massachusetts Cannabis Control Commission to deliver directly to consumers from a Marijuana Retailer or a Medical Marijuana Treatment Center and that does not provide a retail location accessible to the public.

Marijuana Establishment: A Marijuana Cultivator, Craft Marijuana Cooperative, Marijuana Product Manufacturer, Marijuana Retailer, Marijuana Delivery-Only Retailer, Independent Testing Laboratory, Marijuana Research Facility, or any other type of licensed marijuana-related

Zoning Bylaw Amendments: Marijuana Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

business except not a Medical Marijuana Treatment Center, also known as a Registered Marijuana Dispensary or RMD.

Marijuana Microbusiness: A co-located Marijuana Establishment that can be either a Tier 1 Marijuana Cultivator or Product Manufacturer or both, pursuant to 935 CMR 500.00, in compliance with the operating procedures for each license, and if in receipt of a Delivery Endorsement issued by the Cannabis Control Commission, may deliver Marijuana or Marijuana Products produced at the licensed location directly to consumers in compliance with establish regulatory requirements for retail sale as it relates to delivery. A Microbusiness that is a Marijuana Product Manufacturer may purchase no more than 2,000 pounds of marijuana per year from other Marijuana Establishments, pursuant to 935 CMR 500.00.

Marijuana Production Facility: An establishment authorized to cultivate, manufacture, process or package marijuana products, in accordance with applicable state laws and regulations. A Marijuana Production Facility may be licensed to operate as a Marijuana Microbusiness, Marijuana Cultivator or Marijuana Product Manufacturer, or registered as Medical Marijuana Treatment Center (also known as a Registered Marijuana Dispensary or RMD), or a co-located medical and non-medical establishment, in accordance with applicable state laws and regulations.

Marijuana Retailer: An entity licensed to purchase and transport Marijuana Products from Marijuana Establishments and to sell or otherwise transfer this product to Marijuana Establishments and to consumers. ~~Retailers are prohibited from off-site delivery of Marijuana Products to consumers; and from offering Marijuana Products for the purposes of on-site social consumption on the premises of a Marijuana Establishment. A Marijuana Retailer can deliver Marijuana or Marijuana Products to consumers in accordance with the regulations at 935 CMR 500.00. A Marijuana Retailer may not allow on-site social consumption by consumers on the premises of the Marijuana Establishment.~~

Marijuana Use: A Marijuana Production Facility (See “Marijuana Cultivator”, “Marijuana Product Manufacturer”, “Marijuana Microbusiness”, and “Marijuana Production Facility”), Marijuana Research and Testing Facility (See “Independent Testing Laboratory” and Marijuana Research Facility”), Marijuana Retailer, Marijuana Delivery-Only Retailer, or Medical Marijuana Treatment Center as defined in this Zoning Bylaw.

Medical Marijuana Treatment Center: ~~An establishment registered with the Commonwealth pursuant to 105 CMR 725.100, An entity licensed under 935 CMR 501.101,~~ also known as a “registered marijuana dispensary” (RMD), that acquires, cultivates, possesses, processes (including development of related products such as food edibles, marijuana-infused products, tinctures, aerosols, oils, or ointments), repackages, transfers, transports, sells, ~~offers for sale,~~ distributes, delivers, dispenses, or administers marijuana, products containing marijuana, related supplies, or educational materials to registered qualifying patients or their personal caregivers for medical use purposes in accordance with applicable state laws and regulations. Unless otherwise specified, Medical Marijuana Treatment Center refers to the site(s) of dispensing, cultivation, and preparation of cannabis or marijuana for medical use.

Zoning Bylaw Amendments: Marijuana Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Amend SECTION 5.5.3.:

Retail	B1	B2	B2A	B3	B4	B5
<u>Marijuana Delivery-Only Retailer</u>					<u>SP</u>	

Amend SECTION 5.6.3.:

Retail	MU	PUD	I	T	OS
<u>Marijuana Delivery-Only Retailer</u>			<u>SP</u>		

Amend SECTION 8.3:

8.3 Standards for Marijuana Uses

For all marijuana uses, the following standards apply:

A. General

- (1) Marijuana Establishments and Medical Marijuana Treatment Centers shall be allowed only after the granting of an Environmental Design Review Special Permit by the Arlington Redevelopment Board, subject to the requirements of Section 3.4 and this Section.
- (2) Marijuana Retailers, Marijuana Delivery-Only Retailers, and Marijuana Production Facilities, as defined in Section 2, may be established to provide Marijuana Products for medical use, non-medical use, or both, in accordance with applicable state laws and regulations.
- (3) Marijuana Establishments and Medical Marijuana Treatment Centers shall be located only in a permanent building and not within any mobile facility, with the exception that Marijuana Microbusiness with a Delivery Endorsement and Marijuana Delivery-Only Retailers may conduct mobile deliveries in accordance with 935 CMR 500.000. All sales, cultivation, manufacturing, and other related activities shall be conducted within the building, except in cases where home deliveries are authorized to serve qualified medical marijuana patients pursuant to applicable state and local regulations and except that Marijuana Microbusiness with a Delivery Endorsement and Marijuana Delivery-Only Retailers may conduct sales in accordance with 935 CMR 500.000.
- (4) Marijuana Production Facilities shall not be greater than 5,000 square feet in gross floor area, and shall be licensed as a Marijuana Microbusiness if Marijuana Products are cultivated or produced for non-medical use.
- (5) A Marijuana Retailer or Marijuana Production Facility that has previously received an Environmental Design Review Special Permit from the Arlington Redevelopment Board for a Medical Marijuana Treatment Center shall be required to amend its previously issued Special Permit to authorize the conversion to or co-location of a Marijuana Establishment for the non-medical use of marijuana.

B. Location

- (1) Pursuant to 935 CMR 500.110, Marijuana Establishments shall not be permitted within 500 feet of a pre-existing public or private school providing education in kindergarten or

Zoning Bylaw Amendments: Marijuana Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

any of grades one through 12. This standard also applies to Medical Marijuana Treatment Centers not already permitted by the date of this bylaw.

- (2) Marijuana Establishments and Medical Marijuana Treatment Centers, not already permitted by the date of this bylaw, shall not be located within 300 feet of Town-owned playgrounds and recreational facilities and 200 feet of public libraries, unless a finding of the Arlington Redevelopment Board determines that the location, based on site-specific factors, or if the Applicant demonstrates, to the satisfaction of the Arlington Redevelopment Board, that proximity to the aforementioned facilities will not be detrimental based upon criteria established in 3.3.3 and 3.3.4.
- (3) A Marijuana Retailer shall not be permitted within 2,000 feet of another Marijuana Retailer; A Medical Marijuana Treatment Center shall not be permitted within 2,000 feet of another Medical Marijuana Treatment Center.
- (4) The distances referred to in this section shall be measured as defined in 935 CMR 500.110(3)(a).

C. Cap on the number of Special Permits for Marijuana Retailers

- (1) The Arlington Redevelopment Board shall not grant a special permit if doing so would result in the total number of Marijuana Retailer licenses to exceed a maximum of three.

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Article 35

ZONING BYLAW AMENDMENT/INDUSTRIAL USES

To see if the Town will vote to amend the Zoning Bylaw to update and modernize the Industrial Zoning Districts by amending SECTION 2 DEFINITIONS to define new uses; SECTION 5 DISTRICT REGULATIONS to clarify the applicability of the upper story building step back, to redefine the Industrial Zoning District, to clarify amenity requirements in the Table of Maximum Height and Floor Area Ratio and to add development standards, to include new uses and amend existing uses in the Table of Uses, and to provide additional standards for uses; and SECTION 6 SITE DEVELOPMENT STANDARDS to adjust the parking requirement for light manufacturing to include standards for the Industrial Zoning Districts; and to adjust the bicycle parking standards for light manufacturing and office, medical or clinic uses; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: The proposed amendments for the Industrial District are first and foremost to address the antiquated table of uses and density and dimensional requirements that are preventing the attraction of new and modern uses to the Industrial Districts. The uses allowed in the Industrial District are wide ranging and are either hyper-specific by dedicating how floor area may be used or vague categories of uses that are necessary businesses but not reflective of the current industrial user. The current industrial user desires large flexible space with high ceilings in order to enable businesses to pivot their work as emerging markets and research change over time. The proposed amendments reflect specific recommendations from the Master Plan that reflect the current market needs for the wide range of industrial users.

The proposed zoning amendment adds new uses to the Table of Uses to include uses such as flex uses, artist live/work spaces, food production, vertical agriculture, breweries and the similar, larger restaurants, and storage facilities. These uses are in addition to and expand on the existing artistic and creative production uses that are currently allowed either by right or by special permit in the district. The proposed zoning amendment includes development standards for any new construction or additions greater than 50% acknowledge and support other efforts that are important to the Town. There is a significant emphasis placed on incorporating sustainability measures and stormwater management measures. Acknowledging the fact that the industrial districts are in close proximity to residential districts, the standards also emphasize the need to develop human-scale buildings, pedestrian amenities, and consider building height within the context of the surrounding, often residential, neighborhood.

The proposed amendments are also aligned with the needs of the creative economy as described in the Arts and Culture Action Plan.¹ Like the modern industrial business that desire flexible spaces, the proposed zoning amendments allow the creation of live/work spaces for the creative economy where the artist or maker can adjust their space to their current creative needs. The proposed zoning also acknowledges that depth and differences between artists and makers, ranging from a painter or a writer who may only need a small studio to someone who works with materials that by their nature requires a larger space by acknowledging these differences in the definitions and uses.

The ARB acknowledges that there were significant differences in the desirability of including residential in mixed-use projects. The Master Plan recommendation described above indicated that residential uses

¹ Arlington Arts and Culture Action Plan (2017): <https://www.arlingtonma.gov/home/showpublisheddocument?id=36849>

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

should be allowed in mixed-use projects where the associated commercial/industrial space comprises the majority of the usable space. Currently, the Zoning Bylaw strictly prohibits residential uses in mixed-use projects. The ARB notes that since the first quarter of 2017, no industrial properties have been listed for sale in Arlington. With so much owner-occupied property and so little turnover in the industrial districts either through sale or lease, there has been little incentive for property owners to consider redeveloping their property to create opportunities to bring new and modern light industrial, research and development, manufacturing, and the creative economy to the Industrial Districts. The ARB determined that allowing residential in mixed-use projects, the turnover may be incentivized by balancing the investment and requirements with some profitability avoiding long term stagnation in the districts. The ARB believes that appropriate limitations are in place to not supplant industrial or commercial uses. The proposed zoning requires commercial and industrial uses to be the ground floor uses in any mixed-use project in the Industrial District. Additionally, residential floor area is tied to the floor area of the Light Industrial uses at a 1:1 ratio; any additional residential uses require further financial review by the ARB. Light industrial as written includes brewery, distillery, and winery, flex space, food production in addition to what is already allowed in the zoning. Therefore, residential cannot just be included in any mixed-use project; it must be proportional to modern industrial uses.

Finally, the ARB notes that the proposed zoning amendments connect recommendations in the Arlington Heights Neighborhood Action Plan², the Arts and Culture Plan, the Mill Brook Corridor Report³, and the Net Zero Action Plan⁴ with the Town's Industrial Districts. The Arlington Heights Neighborhood Action Plan, in particular, recognized the fragmented nature of the Industrial Districts and recommended relaxing the Zoning Bylaw's restrictive use and dimensional guidelines, including for "artistic/creative production". The ARB notes that each of these plans were developed through strong participatory planning processes since the adoption of the Master Plan.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 35 as amended. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 2:

Definitions associated with Art/Cultural Uses

Artists' Mixed-use: The use of all or a portion of a building for both habitation and Artistic/Creative Production use, or a combination thereof. Refer to Section 5.6.4.

Co-working Space: A building or portion thereof consisting of a shared office environment, which contains desks or other workspaces and facilities, including but not limited to, dedicated workstations, office suites, meeting rooms, event space, resource libraries, and business or administrative support services, and is used by a recognized membership who share the site to interact and collaborate with each other. Refer to Section 5.6.4.

² Arlington Heights Neighborhood Action Plan (2019): <https://www.arlingtonma.gov/home/showpublisheddocument?id=46654>

³ Mill Brook Corridor Report (2019): <https://www.arlingtonma.gov/home/showpublisheddocument?id=46513>

⁴ Net Zero Action Plan (2021): <https://www.arlingtonma.gov/home/showpublisheddocument?id=55139>

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Maker Space: A building or portion thereof used for the on-site production of parts or finished products by individual or shared use of hand-tools, mechanical tools, and electronic tools. Maker Spaces may include space for design and prototyping of new materials, fabrication methodologies, and products, as well as space for packaging, incidental storage, sales, and distribution of such projects. Typical uses include but are not limited to: electronic goods; printmaking; leather products; jewelry and clothing/apparel; metal work; furniture; woodworking and cabinet shops; glass or ceramic production; and paper design and production. Refer to Section 5.6.4.

Work Only Artist Studio: A space used by an artist for the creation of any visual art or craft, including but not limited to, painting, drawing, photography, sculpture, and pottery; of written works of fiction or nonfiction; or any performing art, whether for live or recorded performance, including music, dance, and theater. Retail sales of art produced on-site and arts instruction by the artist are allowable accessory uses.

Definitions associated with Light Manufacturing

Brewery, Distillery, and Winery: A small, independently owned facility in which alcoholic beverages produced on-site are bottled and sold, typically in conjunction with a bar, tavern, or restaurant use. This includes the substantial equivalent to breweries, distilleries, and wineries. Refer to Section 5.6.4.

Flex Space: A combination of commercial activities under a single commercial entity, such as light manufacturing, office, distribution, research and development, or retail uses. Refer to Section 5.6.4.

Food Production Facility: Food and beverage manufacturing plants that transform raw materials into products for intermediate or final consumption by applying labor, machinery, energy, and scientific knowledge. Food production facilities do not include marijuana establishments or medical marijuana treatment centers. Refer to Section 5.6.4.

Self-Service Storage Facility: A building consisting of small, individual self-contained units that are leased or owned for the storage of business and household goods or contractor supplies, but precluding individual storage units that have at grade and direct vehicular access.

Vertical Farming: A building used for the practice of producing food on vertically inclined surfaces in vertically stacked layers. Vertical farming does not include marijuana establishments or medical marijuana treatment centers. Refer to Section 5.6.4.

Amend SECTION 5.3.7.:

D. In Industrial Districts, screening along the Minuteman Bikeway shall be limited to a vegetative screen, guardrail, and/or low fence under 4 feet in height only. Such screening shall either have gaps or vary in height to provide lines of sight from the Minuteman Bikeway to the adjoining property to promote safety for pedestrians and bicyclists. Pedestrian amenities such as seating, bins for recycling and refuse collection, and appropriate supplementary lighting shall be integrated within the landscaped area of the buffer.

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Amend SECTION 5.3.17.:

For buildings in excess of three (3) stories in height, an additional seven and one half (7.5) foot step back (upper story building setback) shall be provided beginning at the fourth (4th) story. The upper story setback shall be provided along all building elevations with street frontage, excluding alleys. This requirement shall not apply to buildings in the Industrial District.

Amend SECTION 5.6.1.B.:

- B. The Industrial District in the Mill Brook Valley allows uses requiring the manufacture, assembly, processing, or handling of materials and requires additional measure to prevent traffic, noise, appearance, odor, or hazards from becoming disruptive to residential and other business uses. In this district, the Town ~~discourages residential uses, retail business uses, or uses which would otherwise interfere with the intent of this Bylaw. Mixed use development is allowed without residential space~~ allows residential uses, retail business uses, and restaurants if they are accessory to an industrial use to support the continuation of industrial uses in Arlington. Mixed-use development is allowed with all uses.

Amend SECTION 5.6.2.A.:

All Other District Maximum Height and Floor Area Ratio

	Requirement		
	Maximum Height (ft.)	Maximum height (stories)	Maximum Floor Area Ratio (FAR)
MU	70 ^{A,B}	-----	1.00
I	52 ^C 39	4 ^C 3 ^C	1.50
T	35	2 ½	0.35
PUD	85	----- ^D	0.80
OS	----- ^E	----- ^E	-----

Notes:

^A The maximum height in feet of any building or buildings may be modified per Section 3.4 of this Bylaw, provided that the total roof area exceeding either maximum height shall be equal to an equal roof area, within the part of the project to which the same height limit applies, that is less than the maximum height so that the total of the products of the horizontal roof area of all roofs times their respective heights shall not exceed the product of the horizontal area of the total roof times the applicable maximum height permitted in the district, and provided further that the height of any roof shall not exceed the applicable maximum height permitted in the district by more than 12 feet.

^B See Section 5.3.17.

^C ~~Upper story building setbacks required on structures with more than three stories. See Section 5.3.24. Subject to amenity requirements in Section 5.6.2.D(7).~~

^D In a mixed-use building, residential uses shall be limited to five stories.

^E Accessory buildings in the OS district shall be located on the property so as not to detract from the primary goal of the open space use.

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Amend SECTION 5.6.2.:

A. Development Standards.

In the Industrial District, the following requirements apply to all new development or additions over 50% of the existing footprint:

(1) Renewable Energy Installations

- The Redevelopment Board may, by special permit, allow adjustments to the height and setbacks in order to accommodate the installation of solar photovoltaic, solar thermal, living and other eco-roofs, energy storage, and air-source heat pump equipment. Such adjustments shall not create a significant detriment to abutters in terms of noise or shadow and must be appropriately integrated into the architecture of the building and the layout of the site, consistent with the other requirements of this section.
- All new commercial and mixed-use buildings shall be solar ready.
- Additions over 50% of the footprint of existing buildings shall be solar ready to the extent feasible.

(2) Yards

- Where feasible, the principal façade of the principal building on the site shall be no more than 10 feet from the front lot line.
- The use of rain gardens, bioswales, and wetlands restoration to control runoff and manage stormwater on-site within setbacks is strongly encouraged. Such systems shall be integrated with the surface water drainage systems in Section 3.4.4.E. See Section 6.1.11.F(3) for relationship to parking areas.
- Fences greater than 4 feet tall within the abutting setback to the Minuteman Bikeway shall be prohibited. See Section 5.3.7.D. for additional requirements.

(3) Transparency and Access

- The required minimum transparency of the ground floor principal façade visible from a public right-of-way is 50% of the area measured between 2 and 8 feet in height from the level of the finished sidewalk.
- All façades visible from a public right-of-way shall be given equal treatment in terms of architectural detailing. No blank façades are permitted. Façades shall be articulated every 50 to 80 feet.
- Each building shall have a clearly defined primary entrance that faces the principal street. A corner door may be used for a building that faces two public streets.

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

- The primary building entry shall be connected by an accessible surface to the public sidewalk.

(4) Lighting

- All luminaires shall be consistent with the requirements of Title V, Article 14 of the Town Bylaws, unless noted below.
- All site and building lighting shall be downcast (75-degree cutoff or fully shielded). Lighting for walkways or parking lots shall be adequately spaced to create even light distribution.
- Site luminaires shall minimize overspill onto an adjacent property and glare when viewed from the public right-of-way or abutting properties.

(5) Pedestrian Amenities. All new development or additions over 50% of the existing footprint shall provide the following:

- A shade tree every 35 linear feet of lot frontage along a public right of way, and to the extent practicable, irrigated planter boxes every 15 linear feet of frontage along a public right of way:
- And one of the following; however, for lots that abut the Minuteman Bikeway, this amenity should be located within the yard adjacent to the Bikeway:
 - One (1) piece of interactive art accessible to the public;
 - One (1) artful rainwater collection system, an above ground stormwater management system that includes artistic elements to collect and divert stormwater;
 - Two (2) benches or similar permanent seating accessible to the public; or
 - Historic marker indicating important historic event or former uses on the site.

(6) Implement a temporary erosion and sedimentation control plan for all new construction activities associated with the project.

(7) Exceptions to Maximum Height Regulations in the Industrial District

For new development or additions that would otherwise be subject to Section 5.3.19, a maximum height of 52 feet or four stories is allowed subject to the following development standards:

- Demonstrate that new buildings or additions shall allow for full sun at least half the time or 50% sun coverage all the time on March 21, June 21, September 21, and December 21 on the lots within the required residential buffer as defined in Section 5.3.19. The

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Redevelopment Board or Board of Appeals, as applicable, shall find that any shadow on abutters with existing solar panels would be negligible to allow the higher height limit.

- Provide one (1) of the following sustainable roof infrastructure components. In the case of a building that is solar ready per Section 5.6.2.A(1), the component should cover the remaining roof area where appropriate:
 - Install a vegetated or green roof over 50% of the roof area.
 - Use diffuse, highly reflective materials on 75% of the roof area.
 - Install solar energy panels tied to the electrical system of the building. For new commercial or mixed-use building, provide solar PV and/or solar thermal on a minimum of 50 percent of the roof area.
 - Provide 100% highly reflective concrete topping.
 - Install a blue roof over 50% of the roof area to provide initial temporary water storage and then gradual release of stored water.
- Retain and treat 100% of stormwater on site.

Amend SECTION 5.6.3.:

Class of Use	I
Residential	
<u>Artists' Mixed-use</u>	<u>SP</u>
Agricultural	
<u>Vertical Farming</u>	<u>SP</u>
Commercial & Storage Uses	
<u>Self-service storage facility</u>	<u>SP</u>
Eating & Drinking Establishments	
Restaurant	
=> 2,000 sq. ft., and any restaurant that is principal use on lot of 10,000 sq. ft. or more	<u>SP</u>
Retail	
Retail, general, >3,000 sq. ft. of gross floor area	<u>SP</u>
Retail, local; <3,000 sq. ft. or gross floor area	<u>Y</u>
Office Uses	
Including but not limited to professional, business, or medical or dental offices.	

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Class of Use	I
Less than 3,000 <u>5,000</u> sq. ft. gross floor area per building	Y
3,000 <u>5,000</u> sq. ft. or more gross floor area per building	SP
Office, display or sales space providing not more than 25% of floor space is used for assembling, packaging and storing commodities; percentage of space used for office, assembling, packaging and storing commodities is flexible.	Y
<u>Co-working Space</u>	
<u>Less than 5,000 sq. ft. gross floor area per building</u>	<u>Y</u>
<u>5,000 sq. ft. or more gross floor area per building</u>	<u>SP</u>
Wholesale Business & Storage	
Office, display or sales space of a wholesale, jobbing, or distributing establishment provided that no more than 25% of floor space is used for assembling, packaging and storing of commodities; percentage of space used for office, assembling, packaging and storing commodities is flexible.	Y
Research, Laboratory, Related Uses	
Offices with data processing facilities or laboratories and testing facilities, which may include minor assembly or fabrication activities limited to 25% of the floor area.	SP
Light Industry	
<u>Brewery, distillery, winery</u>	<u>SP</u>
<u>Flex space</u>	<u>SP</u>
<u>Food production</u>	<u>SP</u>
Other Principal Uses	
<u>Work-only Artist Studio</u>	<u>Y</u>
<u>Maker Space</u>	<u>Y</u>
Accessory Uses	
<u>Tasting, accessory to a commercial brewery, winery, distillery</u>	<u>Y</u>
Notes	
<p>^A Six or more units on one or more contiguous lots requires a special permit. ^B But permitted by right if accessory to a use exempt under G.L. c. 40A, § 3. See Section 3.5. ^C If customers or pupils do not come to the house for business or instruction. ^D Mixed-use in Industrial Zones shall not include residential uses. Mixed use in Industrial Zones may include residential uses, subject to the requirements of Section 5.6.4.H.</p>	

Add Section 5.6.4:

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

5.6.4 Uses in the Industrial Districts.

- A. Artists' Mixed-Use. Any portion of a building devoted to such use shall be subject to the following conditions:
- (1) Occupied by persons certified as artists pursuant to the Arlington Commission for Arts and Culture (ACAC) Artist Certification Process,
 - (2) Designed in accordance with ACAC standards and guidelines for artists' mixed-use space, and
 - (3) Subject to an agreement for artists' housing as part of the conditions of a special permit granted by the Redevelopment Board or Board of Appeals, as applicable.
- B. Co-working Space. Rules for membership and participation in the co-working space shall be explicit, transparent, and available to the public. Co-working spaces may host classes or networking events which are open either to the public or to current and prospective members.
- C. Maker Space. Maker Spaces may host classes or networking events which are open to the public. Maker Spaces may also include a membership component.
- D. Brewery, distillery, and winery, including functional equivalents. Tap room hours of operation open to the public shall not represent disturbance to adjacent residential uses and such hours must follow the Commonwealth of Massachusetts requirements for licensing and operations.
- E. Flex Space. The firm using the Flex Space must meet the following criteria:
- (1) All of the uses on the site must be specifically allowed as principal uses within the Arlington Industrial Zone.
 - (2) Changes in products, services, and square footage of uses will not require further approval for use if the Building Inspector determines the uses and property are otherwise in conformance with the Bylaws.
 - (3) The floor area of each use is unrestricted except for uses where a limitation on size or density is present. In this case, the floor area of such use shall be at or below the given limitation.
- F. Food production facility. Food and beverage facilities shall:
- (1) Properly store equipment and remove litter and waste within the immediate vicinity of the plant buildings or structures as to avoid becoming a breeding place, or harborage for pests.
 - (2) Constantly check for pests and pest infestation
 - (3) Locate and operate fans and other air-blowing equipment in a manner that minimizes noise levels and the potential for contaminating the building and its surroundings to avoid health hazards to the public.
 - (4) Not locate vents on the façade adjacent to sidewalks or the Minuteman Bikeway to avoid exposure to the public.

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

- G. Vertical Farming. This use shall be approved by a special permit from the Redevelopment Board or Board of Appeals, as applicable. to make sure operations such as lighting, gases, humidity, and temperature do not affect the surrounding microclimate and the well-being of adjacent uses.
- H. Mixed-Use Building in the Industrial District. Mixed-use development may be integrated vertically, within a single building, or horizontally, in multiple buildings on the same site. The ground floor use of the principal building on the site must be industrial or commercial. Further, residential uses may be a component of a mixed-use development and are limited to no more than the gross floor area of the principal ground floor Light Industrial use. The Redevelopment Board may allow an increase of residential floor area to no more than twice the gross floor area of the principal ground floor Light Industrial use upon a finding of financial infeasibility.

Amend SECTION 6.1.4.:

Use	Minimum Number of Spaces
Manufacturing, Light	1 space per 600 1,000 sq. ft. of gross floor area or 0.75 spaces per employee of the combined employment of the two largest successive shifts, whichever is greater

Amend SECTION 6.1.10.:

- F. Parking in Industrial Districts. In an Industrial District, all parking and loading areas shall be subject to the following requirements in addition to the applicable requirements of Section 6.1.10:
- (1) The parking area shall be located to the rear or side of the primary building. No parking shall be permitted in the front yard nor shall any driveways directly in front of a structure be permitted without a finding by the Board of Appeals or the Redevelopment Board, as applicable, that the parking or driveway is necessary and convenient to the public interest.
 - (2) Any loading and/or delivery access shall be located at the rear of the building or in an alley between buildings on the same lot. In the case of demonstrated hardship, an alternative may be approved by the Redevelopment Board.

Amend SECTION 6.1.11.:

- F. Parking in Industrial Districts. In an Industrial District, all parking and loading areas shall be subject to the following requirements in addition to the applicable requirements of Section 6.1.11.:
- (1) Parking spaces above the minimum number required by Section 6.1.4. shall be surfaced with a permanent pervious material or binder.

Zoning Bylaw Amendments: Industrial Uses

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

- (2) For parking areas not covered with pervious surfaces, one of the following options must be chosen to reduce the heat given off by the paved surface of the parking area:
- Install a highly reflective surface using one of the following options:
 - Roller-compacted concrete
 - Concrete over asphalt (white topping and ultra-thin white topping)
 - Use of light-colored aggregate in asphalt.
 - Asphalt, concrete and pavers with modified colors
 - Increase shade of the impervious pavement to a minimum of 50% of the surface by one or both of the following methods:
 - Installing trees within the landscaped areas required by Section 6.1.11.D(6).
 - Solar panels over parking spaces allowing cars to park underneath.
- (3) Rain gardens, bioswales, and wetlands restoration, as appropriate to control runoff and manage stormwater on-site, are strongly encouraged and should act as a transition between parking and open space.
- (4) Electric vehicle charging stations are strongly encouraged.
- (5) All parking surfaces shall comply with requirements of Section 3.4.4(E).

Amend SECTION 6.1.12.D:

Use	Minimum Number of Long-Term Bicycle Parking Spaces	Minimum Number of Short-Term Bicycle Parking Spaces
Business or Industrial Use		
Manufacturing, Light	0.80 spaces <u>1 space per 1,000 sq. ft. of gross floor area or 0.75 spaces per employee of the combined employment of the two largest successive shifts, whichever is greater</u>	0.60 spaces per 1,000 sq. ft. of gross floor area
Office, medical or clinic	0.30 spaces <u>1 space per 1,000 sq. ft. of gross floor area</u>	0.50 spaces per 1,000 sq. ft. of gross floor area

Zoning Bylaw Amendments: Zoning Map Adoption

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

Article 36

ZONING BYLAW AMENDMENT/ZONING MAP ADOPTION

To see if the Town will vote to amend the Zoning Bylaw to update the date of the Zoning Map of the Town of Arlington, Massachusetts, to November 16, 2020; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion:

The November 2020 Town Meeting adopted a zoning map change that rezoned a portion of the Department of Public Works Yard from R1 to Industrial. The Board noted that the date of the zoning map needed to be updated in Section 4.2 of the Zoning Bylaw as a result of this adopted and now-approved amendment.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 36. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 4.2:

4.2 ZONING MAP

Zoning districts are shown on a map entitled "Zoning Map of the Town of Arlington, MA" and dated ~~May 19, 2015~~ November 16, 2020 (the Zoning Map) on file in the Office of the Town Clerk and the Department of Planning and Community Development. The district boundaries shown on the Zoning Map, including an overlay map entitled "Wetland and Floodplain Overlay" are part of this bylaw. The Zoning Map may include geographical features, streets, notations, and such other information to keep the map current and to facilitate orientation.

Zoning Bylaw Amendments: Multifamily Zoning for MBTA Communities

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 37

ZONING BYLAW AMENDMENT/ MULTIFAMILY ZONING FOR MBTA COMMUNITIES

To see if the Town will vote to amend the Zoning Bylaw to comply with M.G.L. c. 40A to allow multifamily housing to be permitted as of right with a minimum gross density of 15 units per acre without age restrictions and suitable for families with children in the districts within one half-mile from the Alewife MBTA Station by amending SECTION 2 DEFINITIONS, SECTION 3 ADMINISTRATION AND ENFORCEMENT, SECTION 4 ESTABLISHMENT OF DISTRICTS, SECTION 5 DISTRICT REGULATIONS, SECTION 6 SITE DEVELOPMENT STANDARDS, and SECTION 8 SPECIAL REGULATIONS; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: The Economic Development Bond Bill was signed into law by Governor Baker on the morning of January 15, 2021. Included in the law is a requirement for MBTA Communities, including Arlington, to zone for multifamily housing by right. These amendments are now codified in c. 40A the Zoning Enabling Act. The zoning must allow multifamily housing without age restrictions and be suitable for families with children, be of a reasonable size, have a minimum gross density of 15 units per acre and be located not more than a half-mile from a commuter rail station, subway station, ferry terminal, or bus station. This requirement becomes effective 90 days from when the Governor signed the bill. Additionally, if a MBTA Community does not comply with this requirement, it will no longer be eligible for funds from the Housing Choice Initiative, the Local Capital Projects, or the MassWorks Infrastructure program.

Due to the timeline and the approaching Town Meeting, on January 25, 2021, the ARB voted to submit this article to the 2021 Annual Town Meeting warrant, which happened by the deadline of January 29, 2021. On January 29, 2021, the state indicated that the eligibility for the above-referenced programs would not be affected for the upcoming grant round. Subsequently, the state released additional guidance⁵ relative to the requirement, although it is still lacking in specificity to equip the Town with necessary guidance to proceed with an amendment.

On February 8, 2021, the DPCD staff presented a proposal to the Redevelopment Board for consideration under this requirement. At that meeting, the ARB, weighing the proposal, public testimony, the lack of clear guidance from the MBTA and Massachusetts Department of Housing and Community Development, and the confidence that eligibility for the above-referenced grant programs will be maintained for the upcoming grant round, voted to defer action on this requirement until a future Town Meeting. The ARB will await further guidance on this topic.

ARB Vote: The Redevelopment Board voted (5-0) to recommend No Action on Article 37.

⁵ <https://www.mass.gov/info-details/housing-choice-and-mbta-communities-legislation#preliminary-guidance-for-mbta-communities->

Zoning Bylaw Amendments: Energy Efficient Homes on Nonconforming Lots
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 38

**ZONING BYLAW AMENDMENT/
ENERGY EFFICIENT HOMES ON NONCONFORMING LOTS**

To see if the Town will vote to amend the Zoning Bylaw to allow new construction of energy efficient foundations and homes on nonconforming lots in the R0, R1, and R2 Districts that meet certain energy efficiency industry standards; or take any action related thereto.

(Inserted at the request of the Redevelopment Board)

Discussion: This Article seeks to address the issue identified by the Net Zero Plan by establishing industry standards as thresholds and a reasonable process to address the limitations of the existing Zoning Bylaw for residential structures in the R0, R1, and R2 Zoning Districts. The amendment will only affect existing residential structures in those zoning districts. It does not enable the creation of new non-conforming lots. It does not enable new home construction where an existing principal structure does not already exist.

Property owners who seek to reconstruct their home and foundation to the identified industry standards are allowed to reconstruct the foundation if the parcel has at least 5,000 square feet. If the property owner wants to include an addition of up to 750 square feet, the home and foundation can be reconstructed. If the property owner wants to include an addition of 750 square feet or more, the property owner will still need a special permit from the ZBA in accordance with Section 5.4.2.B(6) on Large Additions. A special permit is also needed if the lot has less than 5,000 square feet and there is an existing structure.

The Clean Energy Future Committee noted that the amendment makes Arlington property owners of non-conforming lots equally eligible as property owners of conforming lots for certain federal and state incentives and tax credits that are only available to those who build high efficiency homes.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 38. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 5.4.2.B(4):

- (4) Front Yard Minimum Lot Width Requirements and Exceptions. The minimum front yard lot width shall be 50 feet at all points between the front lot line and the nearest building wall, except that such minimum front yard lot width shall not apply to (i) any lot excepted under Section 5.4.2 (B)(1) or 5.4.2(B)(2) or 5.4.2(B)(8) or (ii) restoration of any principal building that existed on a lot or for which a building permit was issued prior to February 1, 1988.

Add SECTION 5.4.2.B(8):

- (8) Exemption for energy efficient homes on R0, R1 or R2 lots with an existing principal building. The minimum frontage and lot area requirements shall not apply to homes constructed to the lower of either (i) Home Energy Rating System (HERS) Score of 44 or below, or (ii) the maximum allowed HERS Score defined in the International Energy Conservation Code as adopted and amended by Massachusetts, and:

Zoning Bylaw Amendments: Energy Efficient Homes on Nonconforming Lots

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

- The new structure is built within the existing foundation footprint, or with an addition that is not a Large Addition as defined in Section 5.4.2.B(6), or
- The lot has at least 5,000 square feet of area, or
- By special permit.

DRAFT

Zoning Bylaw Amendments: Clarification of Definition of Mixed-Use

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~.

ARTICLE 39

ZONING BYLAW AMENDMENT/ CLARIFICATION OF DEFINITION OF MIXED USE

To see if the Town will vote to amend the definition of Mixed Use in the Zoning Bylaw to clarify that as enacted by Town Meeting, land uses individually prohibited in any particular zoning district are also prohibited as part of Mixed Use developments in the same zoning district; or take any action related thereto.

(Inserted at the request of Christopher Loreti and 10 registered voters)

Discussion: Requiring that the uses in a mixed-use structure are only those that are allowed in the applicable Zoning District may provide some predictability in any mixed-use proposal. This may be seen as a benefit for developers and abutters. While predictability is fundamentally important as part of any permitting process, the ARB believes that this article could limit flexibility in creating beneficial and creative projects that also fulfill community goals. Mixed-use projects are reviewed by the ARB through a discretionary Special Permit process. Compatibility of proposed uses is considered in relationship to the surrounding neighborhood as part of that process. Further, providing housing units as part of a mixed-use development increases the economic viability of developments, allows the town to meet consumer demand by integrating a variety of uses into a single development project, improves the walkability of Arlington's commercial districts, and allows with some constraints the ARB to incorporate locally strong performing sectors into projects.

The ARB does not believe that there is any ambiguity in the definition and, as such as, does not need any clarification.

ARB Vote: The Redevelopment Board voted (5-0) to recommend No Action on Article 39.

Zoning Bylaw Amendments: Conversion of Commercial to Residential

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 40

ZONING BYLAW AMENDMENT/ CONVERSION OF COMMERCIAL TO RESIDENTIAL

To see if the Town will vote to amend the Zoning Bylaw in Section 5.2.4, by inserting in the last sentence of said section, after the word footprint, the words “if allowed by special permit” and by inserting, after the words residential use, the words “provided that the addition or expansion is for affordable housing” so that said sentence will read as follows: In the case of an existing commercial use, the addition or expansion of residential use within the building footprint if allowed by special permit shall not require adherence to setback regulations for residential uses, provided that the addition or expansion is for affordable housing, even if the residential use becomes the principal use of the building; or take any action related thereto.

(Inserted at the request of the Redevelopment Board on behalf of John L.
Worden III and 10 registered voters)

Discussion: The ARB notes that this Article mandates the creation of only affordable housing in certain mixed-use developments. Unfortunately, it is unclear how this achieves either Arlington’s affordable housing or commercial development goals. Without any incentives, this Warrant Article would appear to deter rather than encourage the creation of affordable housing. This chilling effect is caused by limiting the flexibility property owners currently have in reinvesting in properties in Arlington. If the only option available for residential space is to create affordable housing, a property owner may not be able to balance a pro forma to see a return on their investment in their property. Small-scale development of any type is challenging and costly, particularly creating a development with only affordable housing units. Further, the added requirement to seek a Special Permit creates another barrier to property owners reinvesting in buildings in Arlington, increasing time and costs. Lastly, the seemingly mandatory nature of requiring that one to five units of housing must be affordable in most mixed-use development is in direct conflict with the existing Zoning Bylaw’s Inclusionary requirements found in Section 8.2.

The cost of developing affordable housing often exceeds available local and state funding sources, even for projects that only have 10-20% of total housing units designated as affordable. Private developers recoup the cost of developing affordable housing in several ways: using inclusionary housing bonuses (e.g., height bonuses, unit bonuses) to offset the costs of providing affordable housing, charging more in rent or purchase costs for housing not designated as affordable housing, and applying for public subsidies (e.g., CDBG funding, CPA funding, housing trust funds, federal tax credits). These development scenarios include primarily market rate housing in order for a private developer to break even on a project, especially given limited public funding resources and subsidies.

ARB Vote: The Redevelopment Board voted (5-0) to recommend No Action on Article 40.

Zoning Bylaw Amendments: Affordable Housing on Privately Owned Parcels of “Non-Conforming” Size Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 41

ZONING BYLAW AMENDMENT/ DEFINITION OF FOUNDATION

To see if the Town will vote to amend the Zoning Bylaw in Section 2, by adding a new definition as follows:
Building Foundation: The masonry or concrete structure in the ground which supports the building. It does not include porches, decks, sheds, patios, one story attached garages, carports, or the like; or take any action related thereto.

(Inserted at the request of the Redevelopment Board on behalf of Patricia
B. Worden and 10 registered voters)

Discussion: Section 2 (Definitions) of the Zoning Bylaw defers to the State Building Code for “terms and words not defined herein but defined in the State Building Code. Words not defined in either place shall have the meaning given in the most recent edition of Webster’s Unabridged Dictionary.” The Massachusetts State Building Code (780 CMR) does not have a single definition for foundations, but rather devotes an entire chapter to this building component. This is due to the complex and multifactored conditions that require variations in regulations instead of a single blanket definition. The dictionary defines a foundation as “an underlying base or support.”

The ARB is concerned about what might be excluded in this definition or what might an unintended consequence of this addition to definitions due to the imprecise language used by the petitioner. The ARB notes that municipalities refrain from cross referencing building code definitions in their zoning regulations. No comparative municipalities provide a definition of a foundation in their zoning bylaws or ordinances, and most explicitly defer to the State Building Code and then the dictionary for industry-specific terminology.

ARB Vote:

The Redevelopment Board voted (5-0) to recommend No Action on Article 41.

Zoning Bylaw Amendments: Affordable Housing on Privately Owned Parcels of “Non-Conforming” Size
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 42

**ZONING BYLAW AMENDMENT/ AFFORDABLE HOUSING
ON PRIVATELY OWNED PARCELS OF “NON-CONFORMING” SIZE**

To see if the Town will vote to allow the development of new sources of permanently affordable housing (affordable in perpetuity and affordability as defined in Arlington Zoning By-Laws) by modifying the requirements for constructing housing units to enable construction on smaller lots as long as those units are permanently committed to be available for rental or ownership according to official regional guidelines (see (Zoning Bylaw Section 2, Basic Provisions, Definitions Associated with Affordable Housing) of affordability.

Such construction would be permissible in all zoning districts allowing residential use, providing the tracts were laid out prior to July 1, 2019, and receive a special permit from the ZBA. Ownership, sale, repurchase and rentals of each property would be overseen by the Arlington Housing Trust Fund or a comparable entity that would have the authority to enforce the affordability guidelines in perpetuity; or take any action related thereto.

(Inserted at the request of the Redevelopment Board on behalf of
Barbara Thornton and 10 registered voters)

Discussion: The petitioner withdrew the proposal at the hearing on the article on March 15, 2021. As such, the ARB did not discuss this article.

ARB Vote:

The Redevelopment Board voted (5-0) to recommend No Action on Article 42.

Zoning Bylaw Amendments: Article to Propose the Adoption of Accessory Dwelling Units
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 43

**ZONING BYLAW AMENDMENT/
ARTICLE TO PROPOSE THE ADOPTION OF ACCESSORY DWELLING UNITS**

To see if the Town will vote to the purpose of this article is to see if the Town will amend the Zoning Bylaw to allow Accessory Dwelling Units (ADUs) on the property of single family, two-family, and duplex dwellings; or take any action related thereto.

(Inserted at the request of Barbara Thornton and 10 registered voters)

Discussion: Chapter 358 of the Acts of 2020 made a series of revisions to Chapter 40A, including lowering the voting threshold for amendments that allow ADUs by-right either within the principal dwelling or within a detached structure on the same lot. Town Meeting can enact this amendment using a simple majority vote rather than a 2/3 supermajority vote.⁶ The amendment is aligned with the other standards outlined in Chapter 358 of the Acts of 2020 for ADUs, including the definition and standards.⁷

This amendment is substantially different than the previous accessory dwelling unit proposals considered by Town Meeting, most recently at the 2020 Special Town Meeting and the 2019 Annual Town Meeting. In particular, the amendment considered by the 2019 Town Meeting required a special permit for the use and was limited to the R0 and R1 Zoning Districts; this amendment allows Accessory Dwelling Units (ADUs) by right in single-family, two-family, and duplex dwellings in any residential and commercial district. The amendment considered by the 2020 Special Town Meeting included a very different definition for ADUs that specified the number of rooms necessary and provided scant limits on the size of the ADU. This amendment brings together pieces of the 2019 and 2020 amendments that have been identified by the ARB previously.

ADUs provide a number of benefits to property owners: allow additional flexibility on using space within the home; allow for options that may create supplementary income; allow aging in place or multigenerational families on the property; and increase long-term rental housing opportunities while balancing potential impacts to existing neighborhoods. These benefits are consistent with the goals of the Housing Production Plan and are encouraged to facilitate a range of housing types to help meet the needs of specific demographics, such as seniors, multi-generational households, individuals with disabilities, low-to-middle income family households, and singles (p. 60).

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 43 as amended. That the Zoning Bylaw be and hereby is amended as follows:

Amend Section 2:

Accessory Dwelling Unit: A self-contained housing unit, inclusive of sleeping, cooking and sanitary facilities on the same lot as a principal dwelling.

Amend Section 5.4.3:

⁶ <https://www.mass.gov/doc/guidance-on-zoning-act-voting-thresholds-02-26-21/download>

⁷ <https://malegislature.gov/Laws/SessionLaws/Acts/2020/Chapter358>

Zoning Bylaw Amendments: Article to Propose the Adoption of Accessory Dwelling Units
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

Class of Use	R0	R1	R2	R3	R4	R5	R6	R7
Accessory Uses								
<u>Accessory Dwelling</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>

Amend Section 5.5.3:

Class of Use	B1	B2	B2A	B3	B4	B5
Accessory Uses						
<u>Accessory Dwelling</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>

Add Section 5.9.2:

5.9.2 Accessory Dwelling Units

A. Purpose. The purpose of this Section 5.9.2 includes:

- (1) Promoting the use of accessory dwelling units as a means of providing Arlington property owners with an opportunity to age in place, to create independent living space for elderly, disabled or other family or household members, to downsize or to earn supplemental income from investing in their properties.
- (2) Helping Arlington residents to conserve and grow their own property values.
- (3) Encouraging housing for persons of all income levels and ages.
- (4) Encouraging an orderly expansion of the tax base without detracting from the existing character of the affected neighborhoods.

B. Requirements.

- (1) In any Residential District or Business District, an accessory dwelling unit is permitted as an accessory use to any single-family dwelling, two-family dwelling, or duplex dwelling, if all of the following conditions are met:
 - An accessory dwelling unit shall be not larger in floor area than one-half the floor area of the principal dwelling or 900 square feet, whichever is smaller. For the avoidance of doubt, where an accessory dwelling unit is created by converting a portion of an existing principal dwelling to an accessory dwelling unit, the floor area of the resulting accessory dwelling unit shall be measured relative to the floor area of the resulting principal dwelling (as affected by or in connection with the conversion).
 - Any alteration causing an expansion of or addition to a building in connection with an accessory dwelling unit shall be subject to the provisions of Section 5.4.2.B(6) if and to extent section 5.4.2.B(6) is otherwise applicable to such alteration or addition.

Zoning Bylaw Amendments: Article to Propose the Adoption of Accessory Dwelling Units
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

- An accessory dwelling unit shall maintain a separate entrance, either directly from the outside or through an entry hall or corridor shared with the principal dwelling, sufficient to meet the requirements of the State Building Code for safe egress.
 - No more than one (1) accessory dwelling unit is allowed per principal dwelling unit.
 - An accessory dwelling unit may be located in (i) the same building as the principal dwelling unit or as an expansion to such building; (ii) a building that is attached to the principal dwelling unit; or (iii) an accessory building, which accessory building shall not constitute a principal or main building by the incorporation of the accessory dwelling unit, provided that if such accessory building is located within 6 feet of a lot line then such accessory dwelling unit shall be allowed only if the Board of Appeals, acting pursuant to Section 3.3, grants a special permit upon its finding that the creation of such accessory dwelling unit is not substantially more detrimental to the neighborhood than the use of such accessory building as a private garage or other allowed use.
 - An accessory dwelling unit shall not be used as a short-term rental, in accordance with Title V, Article 18, Section 3 of the By-Laws of the Town of Arlington.
 - An accessory dwelling unit shall be subject to all applicable requirements of the State Building Code and State Fire Code (including any such requirements, if and as applicable, which prohibit openings, including windows, in exterior walls of dwellings located within a certain distance from the property line).
- (2) The creation or addition of an accessory dwelling unit shall not change the zoning classification of the property in question and shall not affect any zoning relief previously obtained for such property. By way of example only (and without limitation), a single-family dwelling having an accessory dwelling unit shall continue to be classified as a single-family dwelling for single-family use under the Zoning Bylaw; a two-family dwelling having an accessory dwelling unit shall continue to be classified as a two-family dwelling for two-family use under the Zoning Bylaw; and a duplex having an accessory dwelling unit shall continue to be classified as a duplex dwelling for duplex use under the Zoning Bylaw.
- (3) No off-street parking spaces are required in connection with the creation or addition of an accessory dwelling unit.
- (4) An accessory dwelling unit shall not be owned separately from the principal dwelling unit with which such accessory dwelling unit is associated.

C. Administration

- (1) Prior to the issuance of a building permit for an accessory dwelling unit, the owner must deliver an affidavit to the building inspector stating that the owner or a family member of the owner will reside in either the principal dwelling unit or the accessory dwelling unit upon completion of the accessory dwelling unit.
- (2) The creation or addition of an accessory dwelling unit to a principal dwelling unit shall not be subject to the foregoing paragraph 5.9.2.C(1) if the principal dwelling unit and accessory

Zoning Bylaw Amendments: Article to Propose the Adoption of Accessory Dwelling Units
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

dwelling unit are owned by a non-profit or governmental entity and the accessory dwelling unit is restricted as an affordable unit.

- (3) This Section 5.9.2 shall be effective as of the date on which it is enacted at Town Meeting in accordance with applicable law, except for clause (iii) of Section 5.9.2.B.(1), fifth bullet, which clause (iii) shall be effective as of the date occurring six (6) months after the date on which this Section 5.9.2 is enacted at Town Meeting.
- (4) In the event of any conflict or inconsistency between the provisions of this Section 5.9.2 or Section 8.1.3.E, on the one hand, and any other provisions of this Bylaw, the provisions of this Section 5.9.2 and Section 8.1.3.E shall govern and control.

Amend Section 8.1.3:

- E. The creation or addition of an accessory dwelling unit within an existing single-family dwelling, two-family dwelling, or duplex dwelling, or within an existing accessory building on the same lot as any such dwelling, does not increase or affect the nonconforming nature of said existing dwelling or accessory building, and shall not cause such dwelling or accessory building to become non-conforming or result in any additional dimensional requirements with respect to such dwelling or accessory building, provided that such creation or addition of an accessory dwelling unit neither expands the footprint nor the height of said dwelling or accessory building, in each case except (i) for changes necessary to provide for required egress or other modification to meet the State Building Code and State Fire Code, (ii) for any projects allowed under Section 5.3.9, and (iii) to the extent authorized by a special permit issued pursuant to clause (iii) of Section 5.9.2.B(1), fifth bullet.

Zoning Bylaw Amendments: Parking Minimums

Additions to the Zoning Bylaw shown in underline format. Deletions shown in strikeout format

ARTICLE 44

ZONING BYLAW AMENDMENT/ PARKING MINIMUMS

To see if the Town will vote to amend the Zoning Bylaw for the Town of Arlington to reduce or remove minimum vehicular parking requirements in some or all business zoning districts; or take any action related thereto.

(Inserted at the request of James Fleming and ten registered voters)

Discussion: – In 2020, Special Town Meeting voted to give Special Permit Granting Authorities the ability to reduce or eliminate the amount of parking required for a business in the B3 or B5 Zoning Districts through the granting of a special permit, should the applicant be able to demonstrate that there is adequate on-street or municipal parking nearby. Article 44 extends this provision to the remaining business districts (B1, B2, B2A, and B4). The B1, B2, B2A, and B4 Zoning Districts are primarily located along Massachusetts Avenue and Broadway, with a few scattered parcels on Chestnut, Summer, Mystic, and Lowell Streets.

The existing parking requirements in the Zoning Bylaw can create a situation where the space required for off-site parking for a development or change of use can be almost as large the use itself. Private on-site parking also works against the Town's commercial development goals. The bylaw requires approximately 153 square feet of parking space per vehicle—255 square feet if a driving aisle is required. Under this requirement, the owner of a 1,700 square foot property without on-site parking who wanted to change an existing use to "other retail or service use" would be required to provide six off-street parking space. The resulting parking lot would need to be 1,530 square feet, or 90% of the total GFA of the property.

Further, the current supply of on-street parking is often sufficient to meet or even exceed demand, even in the three primary commercial districts. The B1, B2, B2A, and B4 districts are located along the periphery or between of these busier commercial areas, with an adequate supply of on-street parking.

This article does not grant a reduction or completely remove parking requirements by right. Applicants must demonstrate a shared parking, off-site parking, and/or TDM plan per Section 6.1.5 of the Zoning Bylaw. Shared parking and TDM measures can help address employee parking; off-site parking can help address the need for customer or visitor parking. Through a Special Permit request, the ARB or ZBA can assess the applicant's proposals, determine whether an applicant's plan will offset the parking requirements, and evaluate over time if there will be a cumulative effect on parking availability in the business districts. This Article simply provides the Boards with greater flexibility and case-by-case consideration of parking adjustments beyond the currently allowable parking reduction, especially for a commercial change of use within existing storefronts.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 44 as amended. That the Zoning Bylaw be and hereby is amended as follows:

6.1.5. Parking Reduction in Business, Industrial, and Multi-Family Residential Zones

When the applicable Special Permit Granting Authority determines that a business in the ~~B3 or B5~~ a Business District has no ability to create new parking onsite and that there is adequate nearby on-street parking or municipal parking, it may reduce to less than 25 percent or eliminate the amount of parking required in the Table of Off-Street Parking Regulations. In those circumstances, the applicable Special Permit Granting Authority may require the applicant to incorporate methods set forth in subparagraphs

Zoning Bylaw Amendments: Parking Minimums

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

A., B., and C. of this section. The reductions described in this paragraph do not apply to residential use classes identified in Section 5.5.3. and are in addition to the exemption from the parking requirements for the first 3,000 square feet of non-residential space in a mixed-use development as set forth in Section 6.1.10.C.

DRAFT

Zoning Bylaw Amendments: To Increase the Percentage of Affordable Housing Units
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 45

**ZONING BYLAW AMENDMENT/
TO INCREASE THE PERCENTAGE OF AFFORDABLE HOUSING UNITS**

To see if the Town will vote to amend Section 8.2.3A of the Zoning Bylaw to increase the percentage of affordable housing units required in any development subject to Section 8.2 of the Zoning Bylaw from 15% to a percentage between 25 and 30%; or take any action related thereto.

(Inserted at the request of John Sanbonmatsu, Laura Kiesel, and 10 registered voters)

Discussion: Section 8.2 of the Zoning Bylaw sets forth the affordable housing requirements for residential development in Arlington. Adopted by a vote of Town Meeting in 2001, the bylaw requires that 15% of any new residential development of six or more units (which is subject to Section 3.4, Environmental Design Review) must be affordable to households earning 70% or 80% of Area Median Income (AMI) for rental units and ownership units, respectively. Housing units created through this measure must be affordable in perpetuity, built on site, and integrated into the development. To incentivize developers to build affordable units, the bylaw allows for reduced parking requirements. Since 2001, the bylaw has resulted in the development of 59 affordable housing units.

The ARB notes that this Warrant Article seeks to raise Arlington's affordable housing requirement for developments of six or more units from 15% to 25% without any corresponding changes to the incentive structure. At the Town's current requirements, the ARB expects five market rate units to cover the subsidy for the remaining affordable unit in a six-unit development. Under the proposed amendment, the four market rate units would need to cover the subsidy. This is a significant change, and one that economic analysts for other communities have suggested could discourage private investment, particularly for smaller multi-unit projects.

For Arlington, where the inclusion of affordable housing for developments of six or more units is already mandatory, the appropriate balance between incentives and requirements must be sought. If a pro forma for a project does not balance out, the affordable housing requirement, special permit requirements, and other conditions can undermine a development or lead a developer to choose to build something sufficiently small to not require the development of affordable units. If developing affordable housing through inclusionary zoning is overly restrictive, it may be more practical for a developer to apply for a permit through the Comprehensive Permit process (Chapter 40B) than through local inclusionary zoning provisions, or not work in Arlington at all as there are significant costs (time and money) to pursue a Comprehensive Permit.

In short, Arlington's affordable housing requirements need to provide meaningful benefits and incentives to offset developers' revenue losses. A threshold set too high, especially when accompanied by an extensive review and permitting process, may actually incentivize developers to build elsewhere. The ARB also notes this Board and the Select Board adopted the existing Housing Production Plan (HPP) in 2016, which laid out housing needs and demand, the development constraints, capacity, and opportunities, and an implementation plan consisting of housing goals and strategies to achieve them. The Housing Production Plan (HPP) update has kicked off. The broad engagement envisioned as part of that process would enable the community to have wide ranging conversations about what housing production in Arlington might look like, how it could be implemented, and where it should be focused in the community. It is expected that the HPP Update will take a close look at the structure of Arlington's inclusionary housing bylaw and provide recommendations on how to balance the thresholds, percentages, and incentives for produce affordable housing.

ARB Vote: The Redevelopment Board voted (5-0) to recommend No Action on Article 45.

Zoning Bylaw Amendments: Teardown Moratorium

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 46

ZONING BYLAW AMENDMENT/ TEARDOWN MORATORIUM

To see if the Town will vote to amend the Zoning Bylaw by adding to Section 8 a new provision substantially as follows: there is hereby established a temporary moratorium on the demolition, in whole or in part, of older small affordable houses, for a period of two years from the date of final adjournment of this Town Meeting, or when the Town establishes a method of protecting such houses in order to promote the Town's goals of economic diversity and affordability, whichever first occurs. For Purposes of this provision, the term "older small affordable houses" shall mean houses built before 1950 with a footprint of less than 1,000 square feet; or take any action related thereto.

(Inserted at the request of Lynette Culverhouse and 10 registered voters)

Discussion: A moratorium like the one proposed in this article is a temporary protective measure to prevent a property owner's right to obtain development approvals while the community considers and potentially adopts more permanent, comprehensive changes to its regulations. A recent local example of a moratorium was the Town's temporary moratorium on recreational marijuana establishments, which was effected in April, 2017 and retired in December, 2018 when Town Meeting approved Section 8.3, Standards for Marijuana Uses, of the Zoning Bylaw. Moratoria are typically reserved for instances where new or changing circumstances are not adequately dealt with by current regulations. Careful attention is needed in adopting such moratoria ensure that they are able to withstand court challenges. As described in the Handbook of Massachusetts Land Use and Planning Law Third Edition, Mark Bobrowski (Wolters Kluwer, 2011), moratoria should be accompanied by 1) an interim zoning provision, 2) a specific scope or plan for what is to be studied during the moratorium to develop appropriate revisions to protect the public health, safety, or welfare, 3) a clear timeline and 4) a clearly defined outcome that will result from the proposed moratorium.

The interim zoning provision is a substitute bylaw which outlines what shall be permitted over the duration of the moratorium and to which zoning districts and areas the provisions apply. The interim zoning provisions should incorporate factors such as intent of the moratorium, interim district boundaries or area subject to the moratorium, permitted uses, special provisions, appeal procedures, and so on. Without providing this information, it is unclear if all demolition in town is prohibited, or if property owners will be allowed to commence additions, renovations, or partial demolition projects. Under the proposed amendment, a restriction on complete or partial demolition would be in place for two years.

The petitioner provided a scope describing what is to be studied during the moratorium. It was inconclusive on how the data and questions proposed by the petition relate to the moratorium. The following reports, resulting from unique participatory processes, address various items related to the petitioner's scope.

- Regarding collection of statistics on teardowns, a comprehensive study of the impacts of demolitions and replacement homes was recently conducted by DPCD and resulted in the 2019 Report on Demolition and Replacement Homes.⁸ The report was created in response to 2018 request at Town Meeting to expand Arlington's Demolition Delay bylaw, in part to meet historic preservation goals

⁸ Report on Demolition and Replacement Homes (2019):
<https://www.arlingtonma.gov/home/showpublisheddocument?id=47415>

Zoning Bylaw Amendments: Teardown Moratorium

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

but also to address the perception that demolitions of smaller, older homes were driving a loss of affordability in Arlington. The report explores the demolition of Arlington residential structures and associated impacts on several factors in Arlington's residential neighborhoods, such as housing affordability, historic preservation, neighborhood demographics, neighborhood character, and the impact of construction activity on abutters.

- Regarding the environmental impact of new construction versus renovation and reuse, the Net Zero Plan⁹, which was completed earlier this year, has outlined a plan and actions to guide the Town toward its goal of net zero by 2050, which includes policy changes.
- Regarding establishing a plan to preserve housing that represents an era of architectural history, the Historic Preservation Survey Master Plan¹⁰, completed in 2019, lays out a plan for future historic preservation activities. The plan identifies areas and neighborhoods for future inventory projects, which if voted to the local inventory by the AHC would preserve housing that represents different eras of Arlington's architectural history.
- Regarding surveying the community about housing, the 2020 Envision Arlington Annual Town Survey asked a series of questions about housing. A full report on this survey is available on arlingtonma.gov/envision.¹¹
- Regarding developing and implementing a plan to increase our quota of affordable housing to the 10% state recommendation, the Town, through DPCD and specifically the Housing Plan Implementation Committee with this year's update to the Housing Production Plan, is actively working to address the loss of affordability in Arlington through the diversification of housing stock and support the creation and preservation of affordable housing development. The Plan lays out clear housing goals, including creating and preserving permanently deed-restricted affordable housing.

The petitioner did not acknowledge any financial impact to current property owners, future property owners, residents, or revenue collection by the Town.

ARB Vote: The Redevelopment Board voted (5-0) to recommend No Action on Article 46.

⁹ Arlington's Net Zero Action Plan (2021): <https://www.arlingtonma.gov/home/showpublisheddocument?id=55139>

¹⁰ Historic Preservation Survey Master Plan (2019): <https://www.arlingtonma.gov/home/showpublisheddocument?id=48668>

¹¹ Envision Arlington 2020 Town Survey: Report on Survey Responses:
<https://www.arlingtonma.gov/home/showpublisheddocument?id=54498>

Zoning Bylaw Amendments: Establishing Requirements for Off-Street HP (Handicap Placard) Parking Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 47

**ZONING BYLAW AMENDMENT/
ESTABLISHING REQUIREMENTS FOR OFF-STREET HP (HANDICAP PLACARD) PARKING**

To see if the Town will vote to amend the Arlington Zoning Bylaws, Section 6.1.5. ("Parking Reduction in Business, Industrial, and Multi-Family Residential Zones") to establish a minimum HP parking space criteria based on pre-reduction parking requirements; or to take any action related thereto.

(Inserted by the Select Board at the request of the Disability Commission)

Discussion: This Article was filed to address concerns relative to the supply of HP parking spaces in Arlington. The parking requirements in the Zoning Bylaw can create situations where the space required for off-site parking for a development or change of use can be almost as large the use itself. As such, the Redevelopment Board often sees requests for reductions to balance the space available with the appropriate supply for a proposed use. This amendment intended to create a standard that would exceed Massachusetts Architectural Access Board (MAAB) regulations for parking found in 521 CMR 23.00.

The Redevelopment Board appreciates the Disability Commission raising issues related to HP parking spaces. The Board noted that many of Arlington's peer communities allow reductions in the number of required parking spaces when various conditions apply, similar to Section 6.1.5 of the Arlington Zoning Bylaw. In reviewing peer community zoning bylaws and ordinances, no examples of a local HP parking standard were found for parking. Where a reference was made, it was to 521 CMR 23.00.

The Board voted No Action to be able to work with the Disability Commission to devise a warrant article to submit to a future Town Meeting. As such, this vote reflects that the ARB wishes to engage in a more comprehensive and holistic process to understand how the Town is managing the existing HP parking system. This approach will help the Town better understand the supply and demand of HP parking on-street and off-street. Understanding the supply and access issues that exist in the community and addressing those proactively in the public realm can help address the needs of the entire community, including those who need it the most. This information will also prove useful for future Special Permitting processes when parking reductions are requested.

ARB Vote: The Redevelopment Board voted (5-0) to recommend No Action on Article 47.

Zoning Bylaw Amendments: ADA/MAAB Standards in Administration and Enforcement
Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 48

**ZONING BYLAW AMENDMENT/
ADA/MAAB STANDARDS IN ADMINISTRATION AND ENFORCEMENT**

To see if the Town will vote to or take any action related thereto: To see if the town will vote to amend the Arlington Zoning Bylaws, Section 3.1 ("Administration and Enforcement") to add a new clause inserting additional language asserting that all permits, including Special Permits, are conditioned upon compliance with all applicable Massachusetts Architectural Access Board and Americans with Disabilities Acts standards for accessibility, or take any action related thereto.

(Inserted by the Select Board at the request of the Disability Commission)

Discussion: Including a reference in the Zoning Bylaw may be redundant as compliance with the MAAB regulations is required. This may explain why no references outside of the off-street parking standards were found in peer communities' zoning bylaws and ordinances. Additionally, one of the goals of the 2018 recodification effort was to move administrative tasks out of the Zoning Bylaw. However, where this amendment provides a cross reference to these laws and regulations, it is an acceptable addition to the Zoning Bylaw. It is important to note this paragraph is added to the Building Inspector; Enforcement section of the Zoning Bylaw responsibilities as such the Building Inspector is required to enforce the State Building Code, including the requirements of the MAAB Regulations. The Office of the Attorney General Municipal Law Unit, in their approval of the 2020 Special Town Meeting zoning amendments, advised the Town that a Building Permit cannot be withheld for failure to comply with non-Zoning Bylaw requirements.

ARB Vote: The Redevelopment Board voted (5-0) to recommend Action on Article 48 as amended. That the Zoning Bylaw be and hereby is amended as follows:

Amend SECTION 3.1 to add paragraph D:

- D. All special permits, variances, and other relief granted by the Arlington Redevelopment Board and Board of Appeals are conditioned upon compliance with the conditions set forth in such permits and other forms of relief, the State Building Code, and, where applicable, the Massachusetts Architectural Access Board regulations.

Zoning Bylaw Amendments: Sideyard Sky Exposure Planes

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

ARTICLE 49

ZONING BYLAW AMENDMENT/ SIDEYARD SKY EXPOSURE PLANES

To see if the Town will vote to or take any action related thereto: To amend Section 5.3 of the Zoning Bylaw by inserting, at the end thereof, a new sub-section 5.3.23 which describes the Purpose & Intent, Applicability, Definitions, Standards by District, Dimensional and Density Regulations and Exceptions for Sideyard Sky Exposure Planes to accommodate new construction while protecting public health, safety and welfare in Residential Zoning Districts.

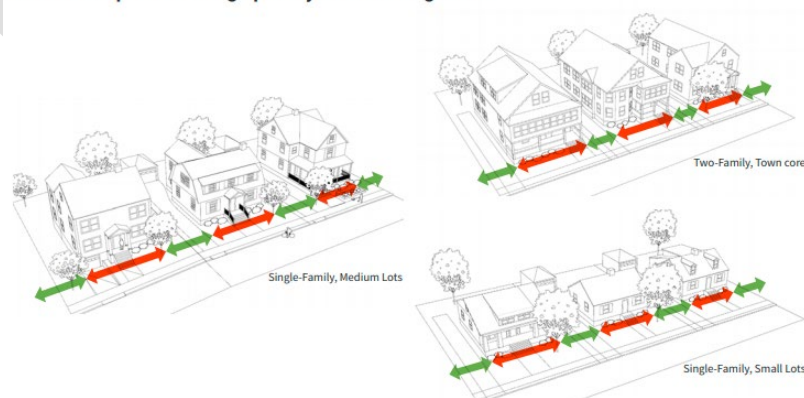
(Inserted by the Redevelopment Board at the request of Ted Fields and 10 registered voters)

Discussion: The Warrant Article attempts to regulate the hypotenuse of a triangle created with the other two legs being the side yard setback and the height of the structure. The simpler way to address the mass of structures might be to adjust the required heights and setbacks of various structures in each zoning district, or simply regulate the size of dormers, which this article does in part as well. The ARB believes that the current requirements for height and setbacks are sufficient to protecting the Warrant Article's stated purposes. In addition, the exemption for additions seems to be at odds with the purpose of the article as well. Although a large addition needs further review by the ZBA, even a modest sized addition could result in the same condition that this article seeks to address.

Further, during 2020, the Design Review Working Group (DRWG) and DPCD staff worked with Harriman to develop residential design guidelines for single- and two-family structures in the R0, R1, and R2 Zoning Districts. The Arlington Residential Design Guidelines¹² were released in December 2020, with support from the ARB, ZBA, and the DRWG. The Residential Design Guidelines provide area-specific strategies to balance creative freedom with guidelines to encourage welcoming and walkable neighborhoods. Rather than regulating through hard numbers, the design guidelines can give designers and community stakeholders more flexibility to find creative solutions.

The Residential Design Guidelines provide clear guidance for specific areas of town and for specific types of houses, as well guidance for a specific home's relationship to other houses on the block and to the streetscape. For example, and strongly related to this article, the design guidelines recommend "new houses and significant additions should be oriented and located in a way that is consistent with their Neighborhood Block Category" with the accompanying graphic (see page 19):

Side Yards should reinforce the existing spacing between houses and provide enough privacy between neighbors.



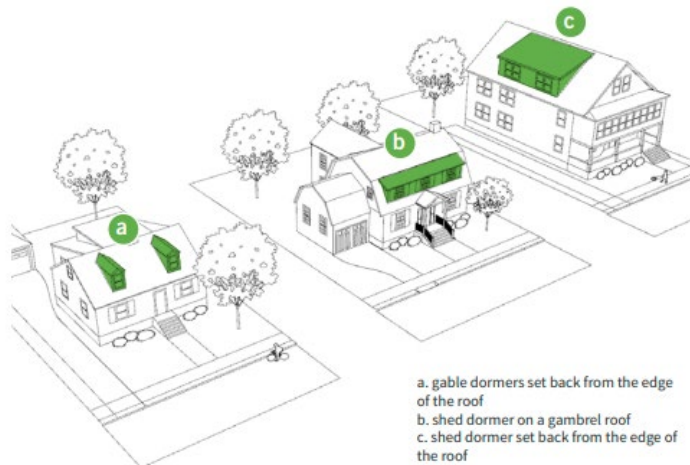
¹² <https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>

Zoning Bylaw Amendments: Sideyard Sky Exposure Planes

Additions to the Zoning Bylaw shown in underline format. Deletions shown in ~~strikeout format~~

Further, the design guidelines provide clear recommendations for dormers (page 36):

Dormers and other Roof Elements



Overall, the Residential Design Guidelines provide clear and concise information and detailed recommendations that are clear to understand.

ARB Vote: The Redevelopment Board voted (5-0) to recommend No Action on Article 49.



Town of Arlington, Massachusetts

Meeting Minutes (3/15/21)

Summary:

8:30 p.m. Board will review and approve minutes

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	Agenda_Item_3_-_Draft_ARB_Minutes__03-15-21.pdf	Meeting Minutes (3/15/21)

Arlington Redevelopment Board
March 15, 2021, 7:30 p.m.
Remote Open Meeting
Meeting Minutes

This meeting was recorded by ACMi.

PRESENT: Rachel Zsembery (Chair); David Watson; Eugene Benson; Kin Lau; Melisa Tintocalis

STAFF: Jennifer Raitt, Director, Planning and Community Development; Erin Zwirko, Assistant Director, Planning and Community Development

The Chair called the meeting to order and notified all attending that the meeting is being recorded by ACMi.

The Chair explained that this meeting is being held remotely in accordance with the Governor's March 12, 2020 order suspending certain provisions of the Open Meeting Law G.L. c. 30A, Section 20. This order from Governor Baker allows for meetings to be held remotely during this time to avoid public gatherings.

The Chair introduced the first item on the agenda, Docket #3647, 10 Sunnyside Avenue, continued public hearing. The applicant requested a continuance to a future meeting. The Board discussed adding a meeting to their schedule and agreed on April 8. Mr. Lau moved to continue the hearing to April 8th at 7 p.m., Mr. Benson seconded. Roll call vote in favor, with Ms. Tintocalis abstaining (4-1).

The Chair introduced the second item on the agenda, Docket #3646, 1420 Massachusetts Avenue, continued public hearing. The applicant provided an overview of changes made to the plans since the prior meeting. Board members provided the following comments: Mr. Lau noted that it was too suburban and remote looking. He stated that it was too auto oriented. Additionally, the paving it may be leading to a drainage issue with water sheeting off the property and onto Mass Ave. Mr. Benson questioned the rear buffer, wondered why the applicant did not install solar panels, and encouraged the applicant to aim for a higher LEED certification standard. Mr. Benson also felt that the design looked very "suburban mall" or "highway". He wondered why we would allow single story buildings on Mass Ave. The Chair commented on the design stating that the EFIS made the building look flat and that stucco is not the right material for this site. She would prefer clapboard and suggested that the architects look at the materiality of buildings on Mass Ave. to contextually bring it into the District. Mr. Watson agreed with prior comments made by the Board. He would like to understand how the indoor bike parking is accessed.

The Chair reviewed the issues that need to be addressed by the applicant prior to the next hearing: coloring of EPDM; trench drain; materials should be more contextual, brick or stone masonry; make Mass Ave. side look more like an entrance; evaluate options to increase LEED standards; show abutting property elevations; enlarge Mass Ave. windows, creating a single bay or using storefront glazings; and window awnings are okay.

The Chair opened the floor to public comments.

Stuart Brorson, 17 Kensington Park, stated that the design should reference urban, but not Manhattan, but not so suburban. He also stated that the sidewalk and driveway safety should be addressed.

Absent further public comment, the Chair returned the meeting to the Board.

The Chair requested a motion to continue to April 8. Mr. Lau moved to continue the hearing to April 8th, Mr. Benson seconded. Roll call vote in favor, with Ms. Tintocalis abstaining (4-1)

The Chair moved to third item on the agenda 23 Maple Street - Memorandum of Understanding between Town of Arlington (Department of Public Works, Department of Inspectional Services, and Department of Information Technology) and Arlington Redevelopment Board. Ms. Raitt describe the MOU. The Chair asked for comments from the Board. Mr. Lau asked how much renovation might be done. Ms. Raitt provided details. Mr. Benson stated the need for compliance with Massachusetts idling and noise regulations. Mr. Watson moved to approve the MOU, Mr. Lau seconded, all in favor as amended (5-0).

The Chair moved to the fourth item on the agenda Zoning Warrant Article Public Hearings for Town Meeting and opened the meeting to public comment.

Absent public comment, the Chair moved to the next item, Article 45, increasing the required percentage of affordable housing in new developments to 25%.

Patricia Worden stated the article is necessary, but that affordable housing should be at 100 percent, adding that the Board has enabled developers gaming the system.

Rebecca Gruber voiced Envision Arlington's Diversity Task Group's endorsement of the warrant, which still represents a modest step in the right direction.

Erin Farah spoke in support of the warrant.

Nick Stein stated that quality housing as a basic human right is more important than developer profits, and this initiative is a compromise. Mr. Watson replied that the Board's concern is not with developer profits but with investment in building projects, which requires an approach targeted to market conditions, zoning, and lot sizes.

Sarah Marez stated that Mr. Watson's argument does not make this warrant article mutually exclusive, and the article should move forward.

Mr. Benson agreed with Mr. Watson and added that in Dover, with 25, zero inclusionary units have been built, so there is a genuine fear that raising the number from 15 to 25 without adding anything else may reduce the likelihood that affordable units would be built. He suggested rather than act out of fear, the Board should make sure to go forward and succeed and not take a step backwards.

Wynelle Evans disagreed with the memo from the Planning Department and the opinion that Arlington must build more market-rate housing, which is a large part of the problem.

Don Seltzer stated that ACMi was not recording the hearing and he had asked the Chair's permission to have his Record button enabled. Ms. Raitt replied that the meeting was being recorded by her and then provided to ACMi. Mr. Selzer stated that he was recording this by other means.

Mr. Seltzer spoke in support of the article and added it might be further amended to kick in earlier at four units, so there's at least one affordable unit in every mixed-use project.

Stephanie Ettinger spoke in favor of the amendment and stated that in light of the pandemic, affordable housing would potentially promote physical and mental health.

Cal de Fontano spoke in support of the warrant and stated there are undisclosed illegal rentals in the town.

David Pretzer spoke in support of the concept of this article, and suggested density bonuses or other ways of reducing barriers to buildings that would trigger inclusionary zoning.

Lynette Culverhouse spoke in support of the article as a good first step and stated the town needs to attract non-profit developers.

John Sanbo, a co-sponsor of the initiative, stated his rent has gone up about 100 percent over 10 years; he agreed with Ms. Culverhouse that the article is only a first step but an important one. He also stated the town practices discriminatory housing policies, and that the Board should treat the housing situation as a crisis and give it top priority.

Steve Revilak stated that Arlington's zoning bylaws were written in the mid-'70s to prevent the building of apartment houses, which drove up the cost of single- and two-family homes. He added that the way forward probably isn't clear yet but this is a conversation the town needs to have.

Susan Mortimer spoke in support of the article; she is saddened that working-class people are forced to leave because they can no longer afford to live in Arlington. She stated that class is a big issue in the town and needs to be addressed. She added that the Board is embracing gentrification.

Guillermo Hamlin spoke in support of the article, and stated that with incentives, builders' profits will continue but there would be more affordable housing.

Judith Garber, a co-sponsor of the article, stated there have been too many delays and the town needs to take a chance and move quickly on this. She spoke in favor of higher density, and possible builder incentives to create more affordable units.

Kristen Martin stated she is disabled, cannot afford to move from her childhood home, but still can't afford to live in Arlington though she is unable to move.

Anna Henkin spoke in support of the article but added that increasing only market-rate at the expense of affordable housing would result in the town dying, as happened in a similar Chicago suburb where she lived. She stated the Board brings up the same excuses as to why no affordable housing warrant article can ever pass; but though imperfect, the article is a necessary first step.

Kevin Heaton spoke in support of the warrant as it favors income diversity in town.

Esther Kingston Mann spoke in support of the article, recounting her own experiences with homelessness and dangerous housing.

Erik [?] spoke in support of the article. He stated essential workers deserve a shorter commute, which would have a lower environmental impact. He added that inclusionary housing would not adversely affect the market.

Lynette Martin referred to Mr. Benson's example of Dover, which has not built any affordable housing since they passed this measure. She stated Arlington, unlike Dover, is a hot market, and she does not understand why they are relinquishing their leverage and power. (Video frozen)

Grant Cook spoke in support of the amendment and added that with the town's heavily weighted focus on single-family zoning, expensive land, Arlington discourages affordable housing. He suggested the town provide a subsidy, funded through property taxes; otherwise, there is a chance nothing will change over the next few years.

Ms. Martin continued her point that Arlington needs to pressure the market to change, and if enough communities stood strong, the economies would shift. She stated the town could not afford even one more year to do more studies while people are homeless and dying. She concluded that Arlington would keep weakening its stance if the warrant is passed.

Brad Adams spoke in support of the article, stating that although he is now financially stable, he knows there is no future for him or his family in Arlington because of the housing costs.

Mark Rosenthal spoke in support of the article; he would like to see it increase the percentage of affordable units required but see to it that the trigger is lowered to a point where the developers will have to comply with it.

Patrick Hanlon stated that the sweet spot is in the market, and the town should do an analysis, so people know what they're talking about; but at this time there is danger of substituting wishful thinking for public policy analysis.

The Chair moved to Article 41, a zoning bylaw amendment for the definition of foundation.

Ms. Worden presented the article.

The Chair turned the meeting to the Board.

Mr. Watson requested comment from Christian Klein from the ZBA. The Chair agreed.

Mr. Benson asked whether a certain type of porch would be included in the building foundation; Ms. Worden replied yes, if the foundation is an integral part of the whole building; but the ZBA would determine this. Discussion between Mr. Benson and Ms. Worden followed.

The Chair opened the meeting for public comment.

Christian Klein stated it is important to differentiate between the foundation wall of a house and the foundation wall of a porch that sits entirely in front of the house.

Stuart Carson spoke in favor of the article, which would close a loophole that allows developers to find a way to weasel a much larger structure onto an existing site.

Chris Loreti explained how a developer can currently game the system by building an open deck, and this is an example of what the bylaw needs to address to avoid recurring expanding foundations outside of the original footprint.

John Worden stated an exception to the existing 1970s bylaw has allowed developers to hopelessly game the system with the approval of the inspectional services; if the Board will not support this foundation definition, they could use the same article and delete the exception altogether.

The Chair opened the floor to the Board.

Mr. Watson stated he did not think the article as presented addresses the issue in a clear way and recommended further exploration with Ms. Worden. Ms. Worden agreed.

The Chair called for a five-minute break.

The Chair moved to Article 38, nonconforming parcels/energy efficient homes.

Pasi Miettinen of the Arlington Clean Energy Future Committee presented the article.

The Chair opened the floor to the Board.

Mr. Lau asked if the benchmark is the energy code or the stretch code; Mr. Miettinen replied today it is the stretch code; if the energy code gets tighter in the future, it still will be 20 tighter than that code.

Mr. Watson spoke in support of the article and asked about the potential interplay of this proposal with Ms. Worden's proposal defining building foundation. Mr. Miettinen replied that his committee would not have a position on that, because it would be impacting building size, not energy efficiency.

The Chair opened the floor to public comments.

Ms. Worden stated all developers should be required to address energy affordability, and there should not be a special reward for those who choose to build on non-conforming lots.

Jo Anne Preston spoke against the article, stating that both teardowns and new construction promote climate change. Mr. Miettinen stated there is much variation when it comes to the reusability of properties and the ability to rehab an existing property to make it energy efficient, especially to the level that that this proposal would allow the homeowner to achieve.

Mr. Loreti spoke against the article, stating that the proponent is putting it into the wrong section of the zoning bylaw. He also stated his concern about possible "greenwashing".

Sanjay Newton spoke in support of the article, stating it is a good step toward energy efficiency.

James Fleming requested that in East Arlington, the 5,000-square-foot lot size minimum prerequisite be removed, since almost all lots are under that size. Mr. Miettinen replied that one would still be allowed under this bylaw to replace and expand a foundation. Mr. Fleming replied that the high cost of foundation would offset any gains from energy efficiency. Mr. Miettinen replied that they are just trying to standardize the language, and this does not require that the foundation be replaced but allows for replacement.

Mr. Carson stated that the article would provide incentive for developers to tear down buildings and then build them based on greenwashing. He added that Mr. Miettinen has a commercial interest in promoting this law; Mr. Miettinen disputed this, and the Chair confirmed it.

Ms. Garber asked if this article would allow building on a non-conforming lot if it is energy efficient. Mr. Miettinen stated that one can build a new home on top of an existing non-conforming foundation; it looks and feels new, but the distinction is that two walls are left to retain some of the building volume.

Mr. Loreti and Mr. Miettinen discussed a possible misinterpretation regarding lot width versus frontage; Mr. Loreti suggested that Mr. Miettinen may not have a commercial interest but might have a personal one.

Absent further public comment, the Chair turned the floor to the Board.

Mr. Benson asked suggested adding language that would take future energy efficiency into account; Mr. Miettinen replied that he had no objection to this added language.

The Chair moved to article 43, ADUs.

Barbara Thornton and Philip Tedesco presented the article.

The Chair turned the floor to the Board.

Mr. Watson stated he is uncomfortable about an ADU possibly being larger than a large addition. Mr. Tedesco stated this is not the intent. Discussion followed, and Mr. Tedesco stated he would clarify the intent.

Mr. Watson asked how the limit of one ADU per principal dwelling unit would interact in a two-family or duplex. Ms. Thornton and Mr. Tedesco replied that they are allowing an ADU for each side of a condominium, and it not a big concern because of existing zoning limitations.

Mr. Watson stated his concern about parking; Ms. Thornton stated they would not require additional parking be built; owners would have to find appropriate parking space on their property.

Mr. Watson stated his concern about the potential for ADUs as AirBnBs; Mr. Tedesco replied that a town bylaw already prohibits this abuse.

Mr. Lau spoke in favor of the article.

Mr. Benson asked if the proponents had spoken with Mike Byrne (head of Inspectional Services). Ms. Thornton replied that they have worked carefully with Mr. Byrne to address his concerns.

Mr. Benson referred to concerns that approval of ADUs would turn single-family residential districts into two-family. Mr. Tedesco replied that a developer could not tear down a single-family, put in a “two-family” with the ADU, and then sell them off as condos.

Mr. Benson referred to concerns that ADUs would harm the environment because people will pave over green space and tear down trees. Ms. Thornton replied that by far the majority of ADUs would be within the existing building envelope.

Mr. Benson asked if the property were owned by a non-profit, where the owner lives off site, would they have to be affordable units; Ms. Thornton stated that this particular piece of this article was added at the request of people who are concerned about increasing the amount of affordable housing in Arlington; it has to be the homeowner, it can't be an outside developer who does this, with one exception: and that is to encourage the opportunity for ADUs to be developed for non-profit purposes if the owner is a non-profit entity. Mr. Benson and the proponents discussed this further.

Ms. Tintocalis asked the proponents if they had received cost estimates for a homeowner or non-profit to install internal or garage additions. Ms. Thornton replied a renovation of existing space could be as little as five or ten thousand.

Ms. Tintocalis asked if the building inspector was concerned about the added work due to ADU applications; Ms. Thornton stated he possibly saw himself as the front line and the only contact point, but was more at ease after speaking with Ms. Thornton.

Ms. Tintocalis asked Ms. Raitt for her insight about amalgamating multiple warrant articles; Ms. Raitt stated she was approaching matters holistically, trying to understand what they all might mean together, and not singling this out specifically for any of the articles.

Ms. Tintocalis asked if the proponents were aware of new over-the-counter designs and zoning regulations for ADUs; Ms. Thornton stated she has a file folder full of plans that, if this is passed, she will review with the Building Inspector. Discussion continued.

The Chair opened the floor to public comments.

Mr. Hanlon commended Ms. Thornton and Mr. Tedesco on their hard work. He also suggested that active assistance be available to ADU applicants; and spoke of his positive personal experience with his family's ADU.

Mr. Newton addressed the distinction between a house and an ADU and stated that it's possible to build 900 square feet of ADU but only add 600 square feet of house. He also shared how important an ADU was to his family.

Rebecca Peterson stated her concern that there is a constant push in Arlington for more density, and the town needs to protect what little open space there is; she added her concern about lack of enforcement against short-term rentals.

Mr. Seltzer stated ADUs' impact on a neighborhood is ignored and gave examples. He added that while this is being promoted as a means for seniors to age in place, it is aimed at higher income people with big houses and longer investment horizons. He also had doubts about enforcement; Mr. Tedesco stated Mr. Byrne would enforce for ADUs as well as usual construction, and Ms. Thornton stated they are committed to preventing parking violations.

Alex Bagnell spoke in favor of the article to add "gentle density" to single- and two-family zones, which claim 80 percent of the land in town; it also gives homeowners more freedom to modify their property.

Mr. Worden stated specific safeguards need to be strongly put in place.

Mr. Pretzer spoke in support of the article as a great opportunity to allow homeowners the opportunity to create units that will necessarily be smaller and less expensive.

Mr. Carson spoke against the article, stating that the town does not have a good track record when it comes to enforcing covenants, and ultimately ADUs will drive up housing prices.

Mr. Loreti stated language about height limits, proximity to property lines, and parking needs to be strengthened.

Jennifer Susse spoke in support of the article as a way to add supply and affordability.

Ms. Preston stated there is no guarantee of intergenerational living; residents will not give up their cars for public transportation, and parking will remain a problem; and having conversations with Inspectional Services does not guarantee enforcement.

Pam Hallett spoke in support of the warrant to produce affordable housing. She stated Inspectional Services is up to the task of enforcement.

Mr. Revilak spoke in support of the proposal he asked how often two-family homeowners go through deed restrictions and other formalities to make their rental unit officially affordable; Ms. Raitt replied that only the Housing Corporation of Arlington has any deed-restricted units.

The Chair moved to Article 42, zoning bylaw amendment /affordable housing on privately owned parcels of non-conforming size.

Ms. Thornton presented the article; stated it needed improvement; and withdrew it. Ms. Raitt stated it could not be withdrawn at this time because it's already in the warrant but will likely receive a vote of no action. Discussion followed.

The Chair opened the floor to public comments; seeing none, requested a motion to continue to Monday, March 29; so moved; Mr. Lau seconded the Board voted unanimously in favor.

The Chair moved to warrant article review; Ms. Raitt suggested she could compile them and submit a memo to the Select Board by the 22nd.

The Chair requested a motion to approve the December 9 minutes as submitted; Mr. Lau so moved; Mr. Benson seconded; the Board voted unanimously in favor.

The Chair moved to the December 21 meeting minutes and requested a motion to approve; Mr. Benson so moved; Mr. Watson seconded; the Board voted unanimously in favor.

The Chair moved to the open forum. Absent public comment, she closed the forum and requested other items before closing the meeting.

Ms. Zwirko announced her departure from Arlington on April 9 for Yarmouth, Maine, where she will be Director of Planning and Development.

In answer to Mr. Watson, Ms. Raitt confirmed that the notes were due the coming Wednesday (two days hence).

The Chair requested a motion to adjourn; Mr. Lau so moved; Mr. Watson seconded; the Board voted unanimously in favor.

Meeting adjourned.



Town of Arlington, Massachusetts

Correspondence Received

Summary:

Correspondence received from:

R. Annese for 10 Sunnyside continuance 03312021

W. Evans 04062021

ATTACHMENTS:

Type	File Name	Description
<input type="checkbox"/> Reference Material	Correspondence_from_R._Annese_for_10_Sunnyside_continuance_03312021.pdf	Correspondence from R. Annese for 10 Sunnyside continuance received 03312021
<input type="checkbox"/> Reference Material	Correspondence_from_W.Evans_received_04062021.pdf	Correspondence from W. Evans received 04062021

From: "Robert Annese" <law@robertannese.com>
To: "Jennifer Raitt" <JRaitt@town.arlington.ma.us>
Cc: "Erin Zwirko" <EZwirko@town.arlington.ma.us>
Date: 03/31/2021 02:38 PM
Subject: FW: 10 Sunnyside Ave

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Hi Jenny:

The applicant is requesting a continuance of the hearing scheduled for next Thursday evening, April 8th to the next available hearing date for the purpose of continuing to address issues raised at the initial hearing.

Would you please let my office know the if the request will be granted by the Members of the ARB.

Thank you.

Bob

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From: Wynelle Evans <evco7@rcn.com>
To: rzseembery@town.arlington.ma.us, EBenson@town.arlington.ma.us, KLau@town.arlington.ma.us, mtintocalis@town.arlington.ma.us, DWatson@town.arlington.ma.us
Cc: Jenny Raitt <JRaitt@town.arlington.ma.us>, Erin Zwirko <ezwirko@town.arlington.ma.us>
Date: 04/06/2021 12:37 PM
Subject: 190-200 Mass Ave aesthetics--for the record, please

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Dear Board Members, Jenny, and Erin:

Thank you all for your questions and suggestions at last night's hearing concerning the proposed mixed use project at 190-200 Massachusetts Ave. As you accurately noted, it has a long way to go before being both compliant with our ZBL, and appropriate for this site.

If Arlington has a best-loved area, Capitol Square is a top contender. Its appeal lies in the pedestrian-friendly mix of small businesses and eateries, so that the on-the-ground experience is of many unique and enticing small storefronts. The Theater itself, on the National Register of Historic Places and approaching its centenary, is a living example of how the past can remain relevant when physical structures are maintained and uses are aligned with a community.

But the architects seem not to have studied the physical and social environment into which they are proposing to drop this bomb. By replacing four or five storefronts with one long uninterrupted street-level façade, the architects are ignoring the nature and uses of the area.

Both the design and the materials are alien to this block. It looks as if the building at 887 Mass. Ave., opposite their project at 882-892 Mass. Ave., was used as a template, and they plan to drop a copy-cat structure on top of the existing block, saving its façade as a sop to residents. (887, by the way, was not well received. I've heard one positive comment, against many negative comments. Its single, long, opaque ground level façade is the very opposite of the vibrant streetscape the mixed-use Bylaw was intended to promote. And 882-892 will replace 5 storefronts with one office space, creating a pedestrian wasteland at that corner.) Their design for 190-200 Mass. Ave. is completely lacking in interest, originality, or consideration of the surroundings. It is the epitome of lazy architecture. The comment from the project manager that masons are very hard to find and brickwork expensive was insulting to the intelligence of the Board and hearing attendees. The project team should take a look at 483 Summer St., where a three-story mixed-use project with brick skin was recently completed.

This project has the potential to preserve the number of retail spaces, adhere to setback requirements, and be designed in such a way that it both fits and enhances the area. None of that is apparent in the current plans and renderings. Property owner Frank Pasciuto also owns the block on Medford St. opposite the Regent Theater, and it's likely that there are plans afoot for redevelopment there. It's extremely important to create greater understanding with him and his team for what is allowed, and for what is suitable. Attorney Annese's threat of a 40B project in Capitol Square speaks clearly to the current lack of interest in either.

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Please continue to drive this project to a much, much better result for Arlington. It represents a wedge, in terms of how our town could be transformed when profit and cost-cutting take precedent over long-term outcomes. It also represents the way that a single individual can re-shape our shared community, to its detriment, and to their gain.

I'd like to further ask the Board to consider requiring lead personnel for proposed projects to confirm acceptance of a packet that contains the ZBL and our Design Standards, so that they have a grasp early on of the Town's requirements and expectations. As the Design Review Working Group, of which I was a member, suggested for the Residential Design Guidelines, one avenue for this distribution should be through the various real estate attorneys in town.

Finally, I'm attaching an image of a residential structure that has a façade much more in line with the existing façade at 190-200 Mass. Ave., as an aspirational guide for Market Square Architects and Summit Real Estate Strategies to consider. If you'd perhaps share with them, I'd appreciate it.

Very best wishes, and thank you for your work—
Wynelle

Wynelle Evans
781.859.9291 cell
evco7@rcn.com

